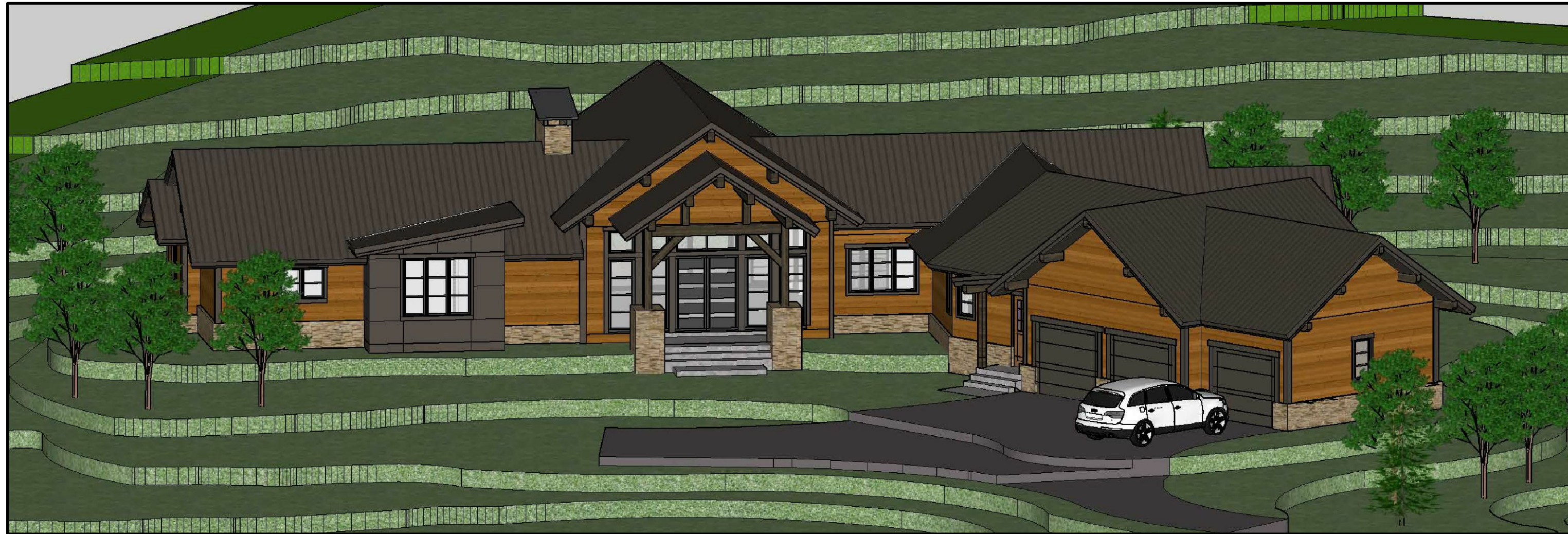


ROBERTS RESIDENCE

36 SQUIRES LANE, LOT 6, FROST CREEK



STONE VENEER:

CUSTOM BLEND - DRY STACKED

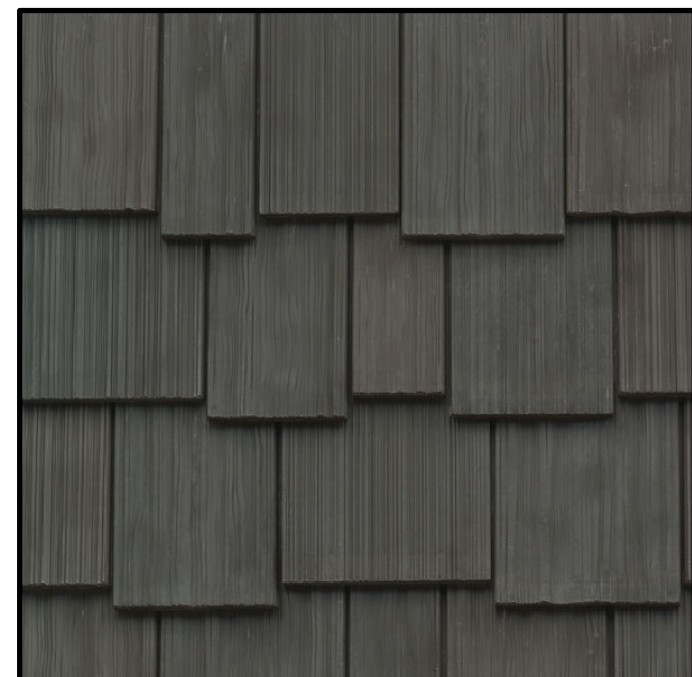


ROOF:

METAL STANDING SEAM
COLOR: DARK BRONZE



DAVINCHI SHAKE
COLOR: MOUNTAIN CLASSIC



EXTERIOR LIGHT FIXTURE:

BRAND: HINKLEY
COLLECTION: SHELTER
MODEL: 1344KZ
FINISH: BUCKEYE BRONZE
GLASS: SEEDY
8.5" X 18"
DARK SKY COMPLIANT
INTEGRATED LED BULB, 12V, 800 LUMENS



ALL EXTERIOR FINISHES AND
COLORS ARE TO BE MOCKED UP
ON SITE FOR FINAL APPROVAL

CIVIL ENGINEER:

LKP ENGINEERING INC.
LUIZA PETROVSKA
P.O. BOX 2837
EDWARDS, COLORADO 81632
(970) 926-9088
luiza@lkpeng.com

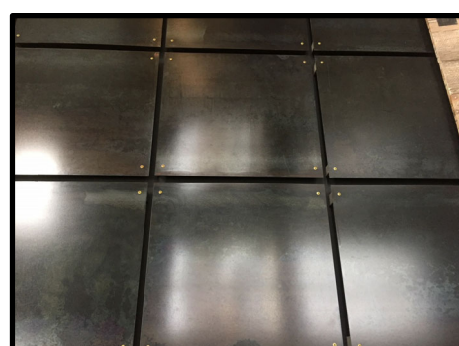
SIDING:

HORIZONTAL CEDAR SIDING
STAIN: TBD



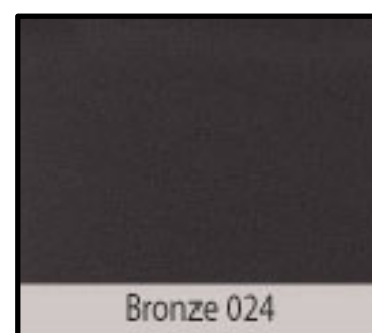
ACCENT SIDING:

METAL PANELS
FINISH: BRONZE OR PATINATED COPPER



WINDOWS:

COLOR: DARK BRONZE



OWNER:

KRISTY & NEILL ROBERTS
kristy.roberts@medtronics.com

ARCHITECT:

SCOTT S. TURNIPSEED AIA
ARCHITECTURE AND CONSTRUCTION, INC.
1143 CAPITOL STREET, SUITE 211
P.O. BOX 3388 EAGLE, COLORADO 81631
PHONE: (970) 328-3900
ALICIA DAVIS, AIA
alicia@sstaia.com

SURVEYOR:

SLAGLE SURVEY SERVICES
P.O. BOX 751
EAGLE, COLORADO 81631
PHONE: (970) 471-1499

STRUCTURAL ENGINEER:

ANDERSON STRUCTURAL ENGINEERING
LONDON ANDERSON, PE
488 ELK RUN ROAD
NEW CASTLE, CO 81647
P: (970) 984-0320
C: (970) 355-4062

SEPTIC DESIGN ENGINEER:

JVA Inc.
817 COLORADO AVE. SUITE 301
GLENWOOD SPRINGS, COLORADO 81601
(970) 404-3065

LANDSCAPE ARCHITECT:

DENNIS ANDERSON
LANDSCAPE ARCHITECTURE
PO BOX 1387
EDWARDS, CO 81632
(970) 390-3745

ENERGY CONSULTANT:

NORTH 39 ENERGY
(970) 227.0272
megan@north39energy.com

DRAWING INDEX:

A0.0 COVER SHEET
A1.0 TOPOGRAPHIC SURVEY
A1.1 SITE PLAN 1:20
A1.2 SITE PLAN 1:10
A1.3 OVERALL SITE PLAN
A1.4 CONSTRUCTION MGMT PLAN
L-1 LANDSCAPE PLAN
L-2 LANDSCAPE PLAN

A2.1 MAIN LEVEL FLOOR PLAN
A2.2 ROOF PLAN

A3.1 ELEVATIONS
A3.2 ELEVATIONS
A3.3 ELEVATIONS

A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS
A4.3 BUILDING SECTIONS

A5.1 DETAILS
A5.2 DETAILS

E1.1 MAIN LEVEL ELECTRICAL

STRUCTURALS:

S1.0 GENERAL NOTES
S1.1 FOUNDATION PLAN
S1.2 MAIN LEVEL FRAMING PLAN
S1.3 ROOF FRAMING PLAN
S5.1 SECTIONS AND DETAILS
S5.2 SECTIONS AND DETAILS
S5.3 SECTIONS AND DETAILS
S5.4 SECTIONS AND DETAILS

OWTS:

CS CIVIL COVER SHEET
G0.1 GENERAL NOTES
C1.0 CIVIL SITE PLAN
CD1.0 TREATMENT SYSTEM & SITE DETAILS
CD1.1 SOIL TREATMENT AREA DETAILS

CIVIL:

C-1 DRIVEWAY PLAN
C-2 EROSION CONTROL PLAN
C-3 DETAILS

PROJECT SUMMARY:

NEW CONSTRUCTION : SINGLE FAMILY
PARCEL NUMBER: 2109-351-01-006
NUMBER OF STORIES : 1
INTERIOR PARKING: 3
BEDROOMS: 3
BATHROOMS: 4

FLOOR AREA:

MAIN LEVEL FINISHED 3,361 SF
TOTAL FINISHED 3,361 SF
MECHANICAL/STORAGE 173 SF
GARAGE 1,080 SF
GROSS SQUARE FOOTAGE **4,614 SF**

SITE COVERAGE:

SITE 160,039 SF
FOOTPRINT 5,356 SF
3.3%
DRIVEWAY 5,430 SF
PATIOS AND WALKWAYS 1,670 SF
FOOTPRINT 5,356 SF
TOTAL IMPERVIOUS 12,456 SF
7.8%

RADON MITIGATION:

REQUIRED PER APPENDIX F OF THE IRC
METHOD USED TO BE CHOSEN BY
GENERAL CONTRACTOR

FIRE SPRINKLERS:

REQUIRED

HEATING/COOLING:

RADIANT, NATURAL GAS,
WITH GYPCRETE
OPTION AIR CONDITIONING
OPTION HEAT IN GARAGE SLAB

WILDFIRE HAZARD RATING: MODERATE



TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN

SINCE 1995

ROBERTS RESIDENCE

36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

PERMIT SET - MAY 15, 2020

ISSUE:	DATE:
PRELIMINARY PLAN REVIEW	02.11.2020
PRELIM PLAN RESUBMIT	02.21.2020
FINAL PLAN REVIEW	04.08.2020
REVIEW SET	05.06.2020
PERMIT SET	05.15.2020

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A0.0

COVER SHEET



36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

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970.328.3900 WWW.SSTAIA.COM

A1.1

SITE PLAN
1:20

SITE / GRADING PLAN

SCALE: 1" = 20'-0"





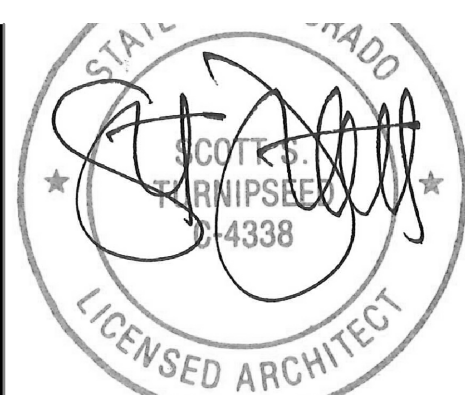
36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

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SITE PLAN
1:10

1
A1.2

SCALE: 1" = 10'-0"



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ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

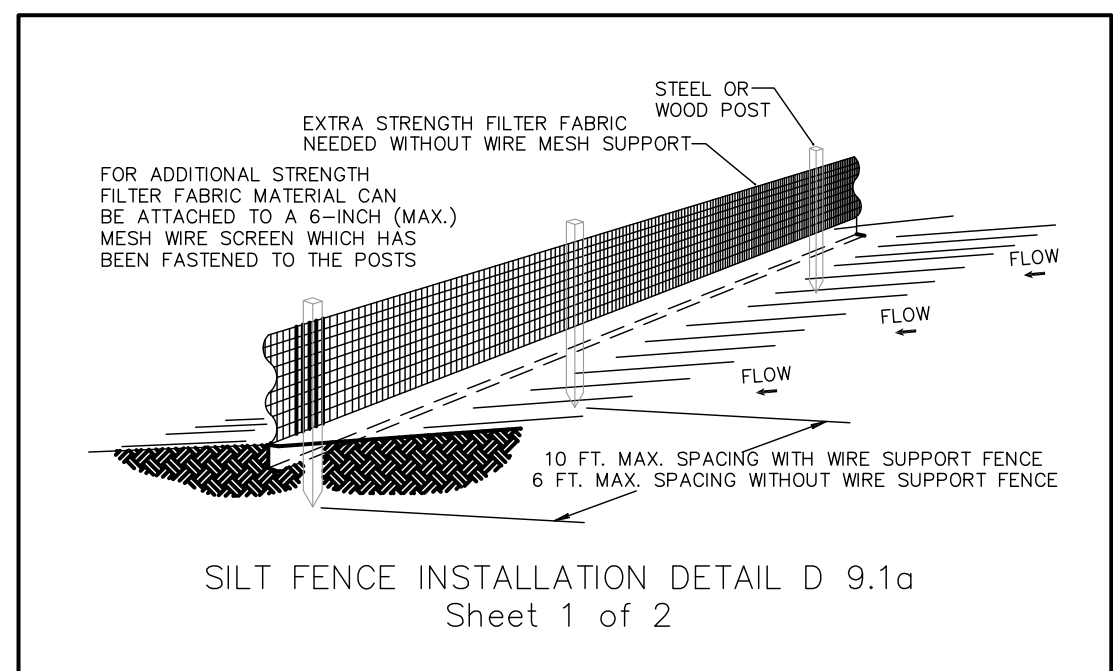
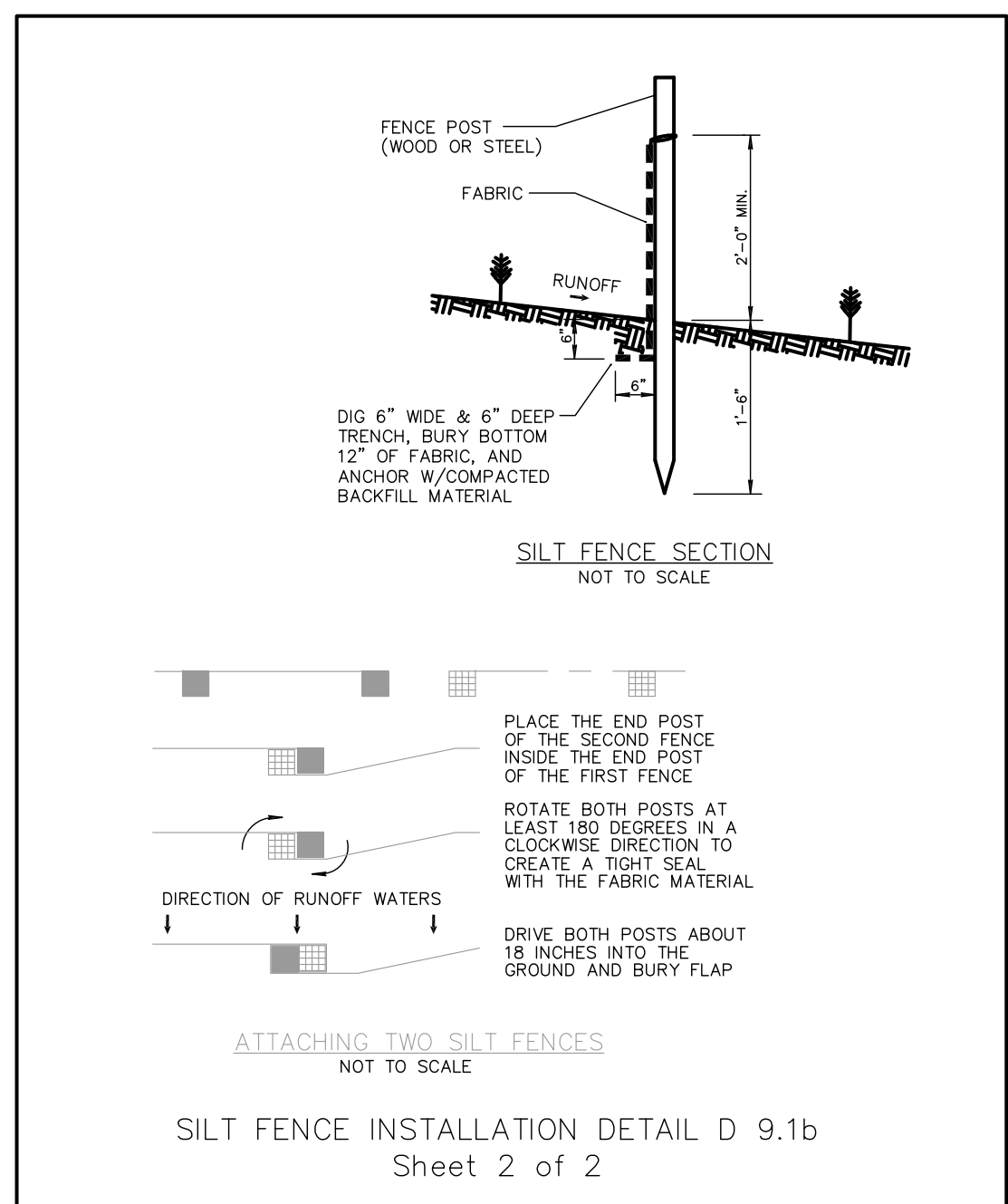
ROBERTS RESIDENCE
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LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

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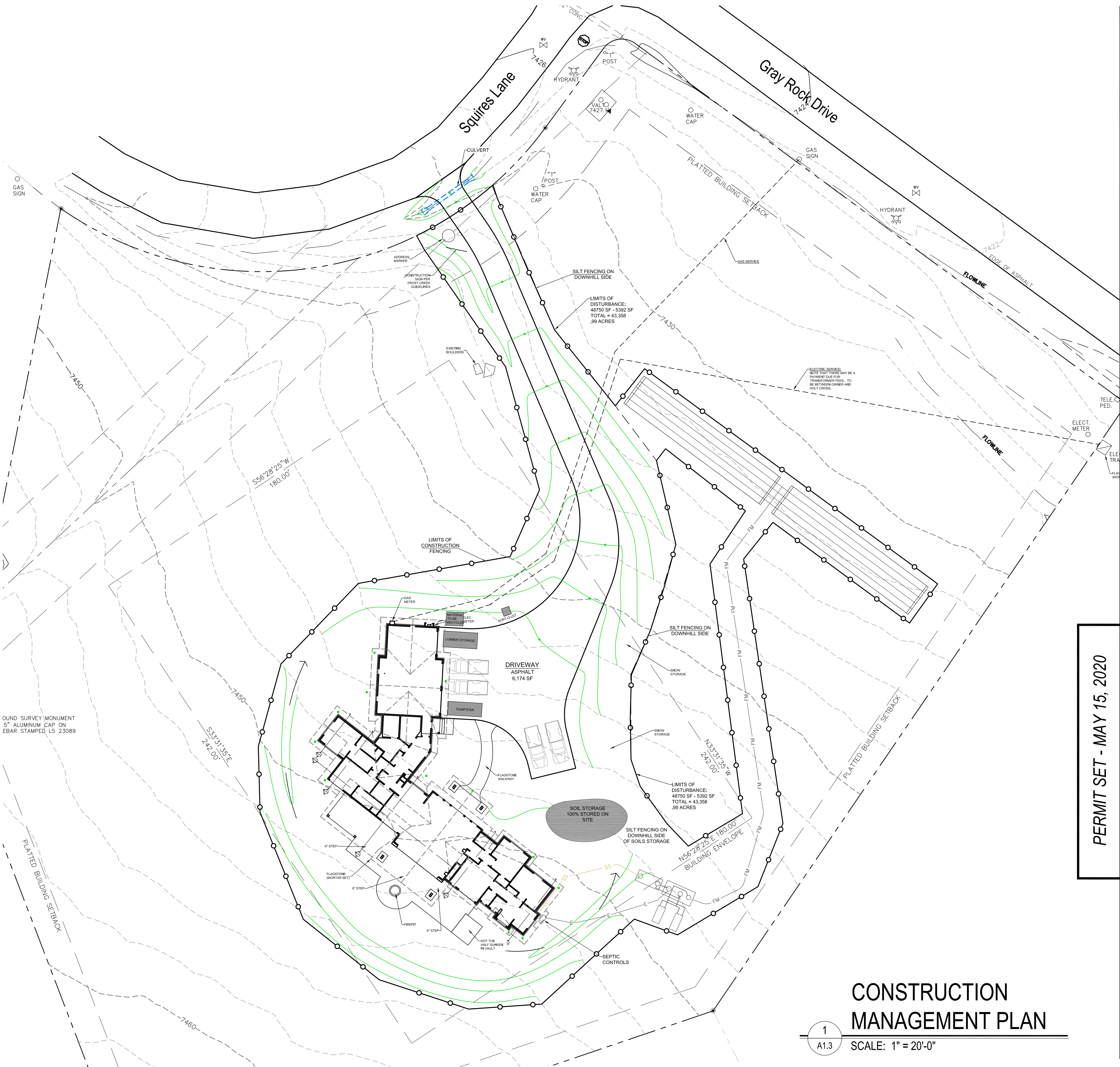
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A1.3
CONSTRUCTION
MGMT PLAN



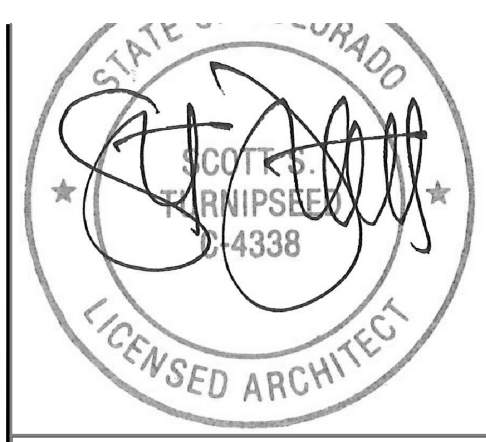
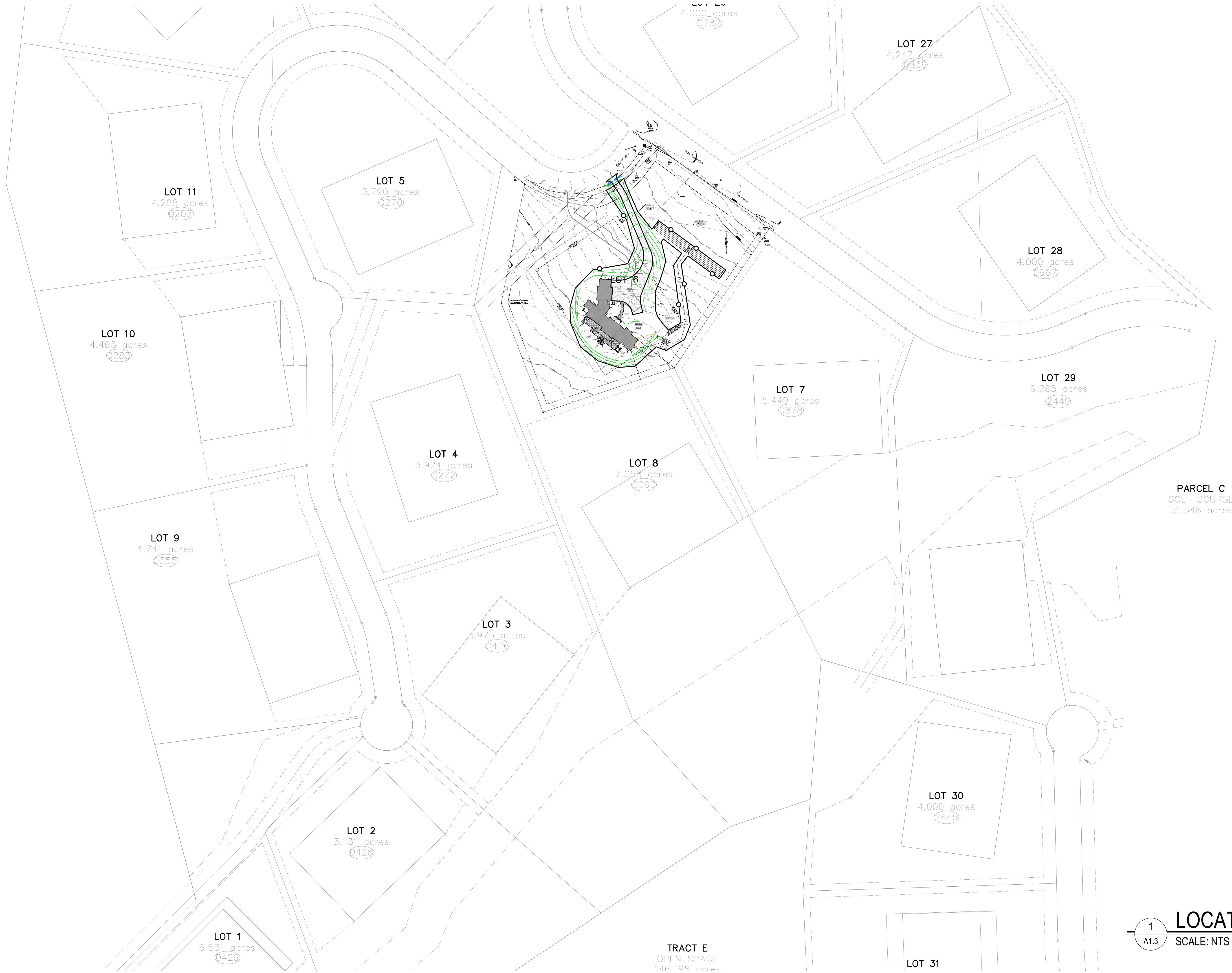
- SILT FENCE**
- The filter fabric shall conform to the requirements described in section 420 of CDOT's Standard Specifications for Road and Bridge Construction.
 - Minimum filter fabric height shall be 36 inches.
 - The use of joints will be minimized.
 - Posts for silt fences shall be metal or hard wood with a minimum length of 42 inches. Wood posts shall have a minimum diameter of 2 inches. Metal posts shall be "studded tee" or "U" type with minimum weight of 1.33 lbs/ft, and they shall be protected against corrosion.
 - Drive posts vertically into the ground to a minimum depth of 18 inches, and excavate a trench approximately 6 inches wide and 6 inches deep along the line of posts and upslope from the barrier. Not less than the bottom one foot of the fabric shall be buried into this trench.
 - The trench shall be backfilled and the soil compacted.
 - When joints are necessary, filter cloth shall be spliced together only at a support post and securely sealed.
 - The filter material shall be fastened securely to metal or wood posts, using wire ties, or to wood posts with 16" long #9 heavy duty staples. The filter fabric shall not be stapled to existing trees.
 - Posts shall be spaced a maximum of 10 feet apart. For channel applications, the posts shall be spaced a maximum of 3 feet apart.
 - Silt fences installed across a ditch line or swale must have the bottom of the end fence at a higher elevation than the top of the fence at the center of the ditch. The maximum spacing between the silt fence barriers must be such that the toe of the upstream silt fence barrier is at the same elevation as the top of the downstream silt fence barrier.
 - When used, wire fence reinforcement for the filter fabric should be a minimum of 36 inches in height, and a minimum of 14 gauge with a maximum mesh spacing of 6 inches. The wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 3/4" long, tie wires or hog rings. The wire shall extend into the trench a minimum of 2 inches and shall not extend more than 36" above the original ground surface.
 - Along the toe of hills, install the silt fence along a level contour and provide area behind the fence for runoff to pond and sediment to settle. A minimum of 5 feet away from the toe of the fill is recommended.
 - The height of the silt fence from the ground surface shall be minimum 24 inches and shall not extend 36 inches.
 - Silt fences shall be periodically maintained. Remove sediment accumulated behind the silt fence when it has reached half the exposed fabric height.
 - Damaged silt fence should be promptly repaired.
 - Remove silt fences after they have served their usefulness.



CONSTRUCTION
MANAGEMENT PLAN

SCALE: 1" = 20'-0"

1
A1.3



ROBERTS RESIDENCE
36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

PERMIT SET - MAY 15, 2020

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970.328.3900 WWW.SSTAKA.COM

1
A1.3

LOCATION
SCALE: NTS

A1.4
LOCATION

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
1		<i>Prunus virginiana melanocarpa</i>	Shubert Chokecherry	10' high, clump form
		<i>Ail. Acer glabrum</i>	Rocky Mountain Maple	B&B specimen
6		<i>Picea pungens</i>	Colorado Spruce	8-10', 3-12' High Grade A - Specimen quality.
12		<i>Populus tremuloides</i>	Aspen	2.5" to 3" Caliper 50% min. Clump
SHRUBS				
6		<i>Cotoneaster lucidus</i>	Peking Cotoneaster	#5 Containers
4		<i>Cornus alba 'Argenteomarginata'</i>	Variegated Dogwood	#5 Containers
3		<i>Cornus stolonifera</i>	Red Twig Dogwood	#5 Containers
4		<i>Cornus stolonifera 'Isanti'</i>	Isanti Dogwood	#5 Containers
8		<i>Juniperus sabina 'Buffalo'</i>	Buffalo Juniper	#5 Containers
2		<i>Picea pungens 'Globosa'</i>	Dwarf Globe Blue Spruce	#7 Containers
3		<i>Perovskia atriplicifolia</i>	Russian Sage	#5 Container
4		<i>Potentilla fruticosa 'Jackmannii'</i>	Jackmans Potentilla	#5 Containers
3		<i>Ribes alpinum</i>	Alpine Currant	#5 Containers
4		<i>Rosa glauca</i>	Red-Leaved Rose	#5 Containers
4		<i>Rosa woodsii</i>	Woods Rose	#5 Containers
6		<i>Spiraea japonica 'Freibellii'</i>	Freibell Spirea	#5 Containers
4		<i>Spiraea nipponica 'Snowmound'</i>	Snowmound Spirea	#5 Containers

90 PERENNIALS See note 12, sheet L-2

4 FL GROUNDCOVERS

SOD LAWN
KENTUCKY BLUEGRASS / FESCUE BLEND

CONTAINER GRASSES

9	<i>Helictotrichon sempervirens</i>	Blue Evert Grass	#1 Containers
11	<i>Calamagrostis acutiflora 'K.F.'</i>	Feather Reed Grass	#1 Containers

FROST CREEK SEED MIX

From Table 2, Formerly Irrigated Meadow Areas

Species	PLS lbs/acre
Mountain Brome	7.2
Western Wheatgrass	5.9
Streambank Wheatgrass	2.8
Slender Wheatgrass	4.1
Beardless Wildrye	4.3
Canada Bluegrass	0.5
Big Bluegrass	0.3

From Arkansas Valley Seed company, 877-907-3337
originally specified for Adams Rib Country Club

LEGEND

- 82 EXISTING CONTOUR
- 82 PROPOSED CONTOUR
- 2% SHEET FLOW AND PERCENTAGE OF SLOPE
- 82.3 SPOT ELEVATION
- DRAINAGE SWALE AND DIRECTION OF FLOW
- CULVERT / DRAIN PIPE

LANDSCAPE MATERIALS LEGEND

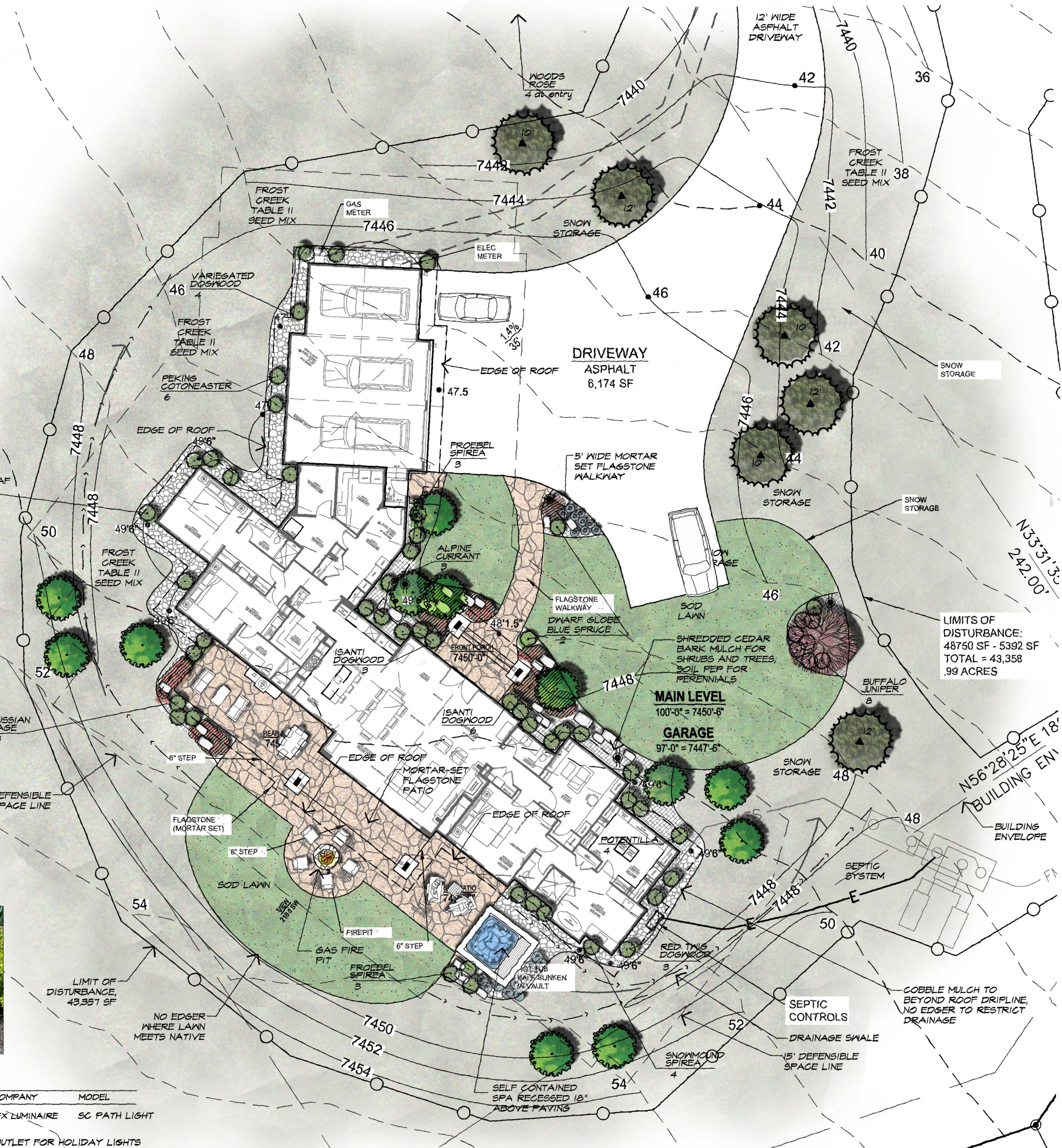
- LANDSCAPE BOULDERS**
NATIVE FROM THE SITE
- GRAVEL MULCH**
2" to 4" RIVER ROCK COBBLE
PROVIDE SAMPLE TO OWNERS REP FOR APPROVAL
- BARK MULCH**
SHREDDED RED CEDAR BARK
- PERENNIAL MULCH**
SOIL-PEP FOR PERENNIAL BEDS
- PATIO AND WALKWAY PAVING**
COLORADO BUFF FLAGSTONE



PATH LIGHT After Patina

SITE LIGHTING LEGEND

SYMBOL	QTY.	TYPE	COMPANY	MODEL
1		PATH LIGHTS	FX LUMINAIRE	SC PATH LIGHT
3		DUPLEX OUTDOOR OUTLET FOR HOLIDAY LIGHTS		

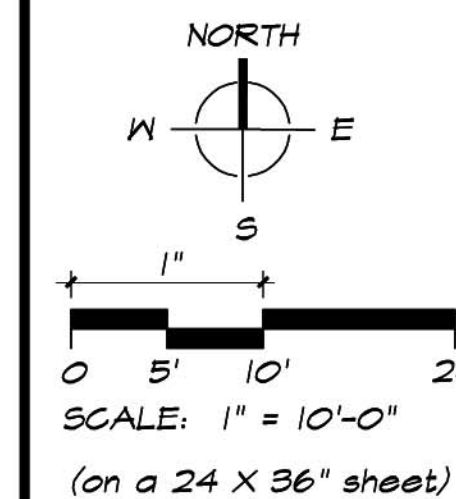


ROBERTS RESIDENCE

36, SQUIRES LANE, LOT 6

FROST CREEK, EAGLE COUNTY, COLORADO, 81631

ISSUE:	DATE:
PRELIM. DRB REVIEW	2.12.2020
FINAL DRB REVIEW	3.11.2020
FINAL DRB REVIEW	4.8.2020
PERMIT	5.15.2020



SCOTT S. TURNIPSEED AIA
ARCHITECTURE
& CONSTRUCTION INC.
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EAGLE, COLORADO 81631
970.328.3900 WWW.SSTAKA.COM

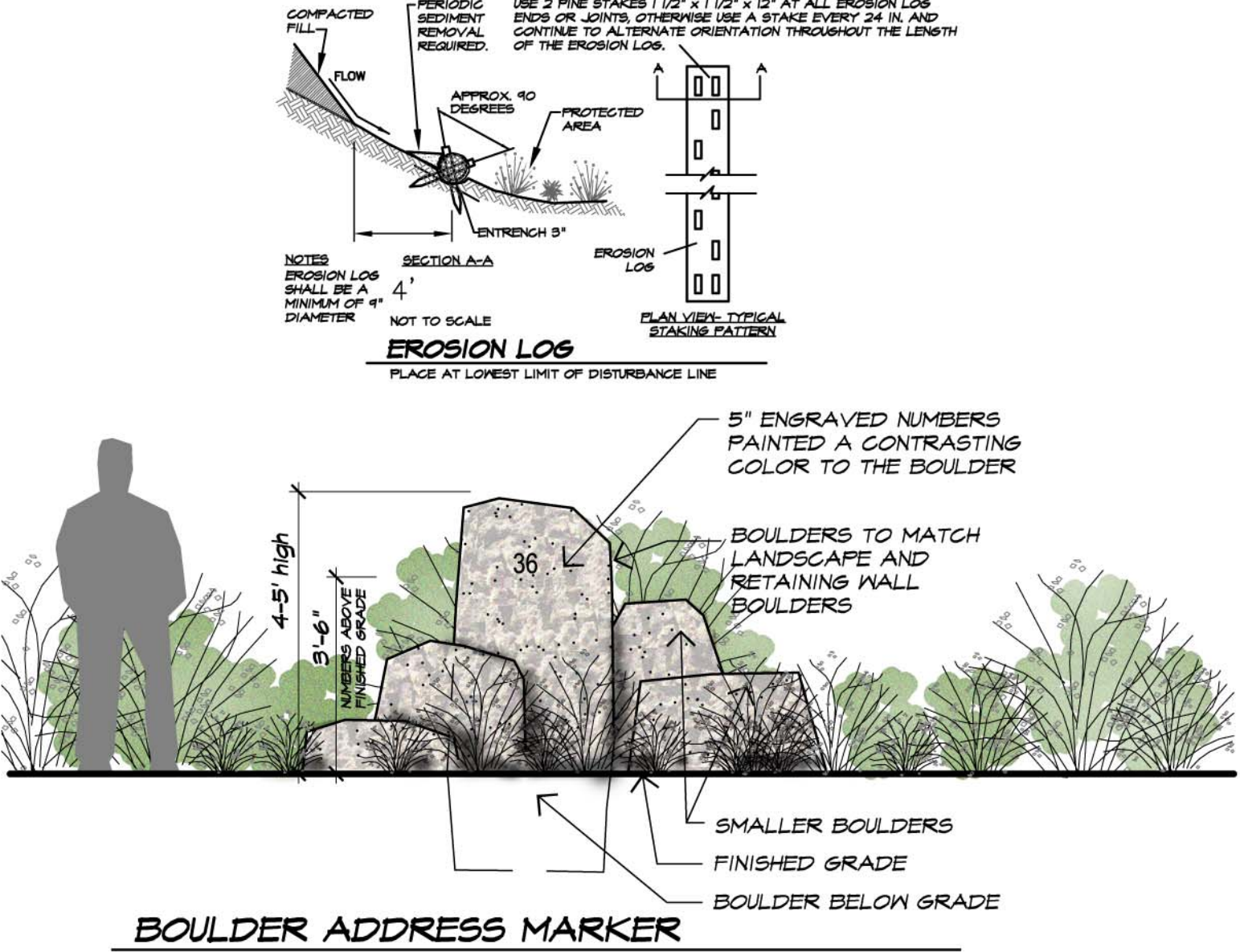
10 SCALE
LANDSCAPE
PLAN

L-1

OF 2

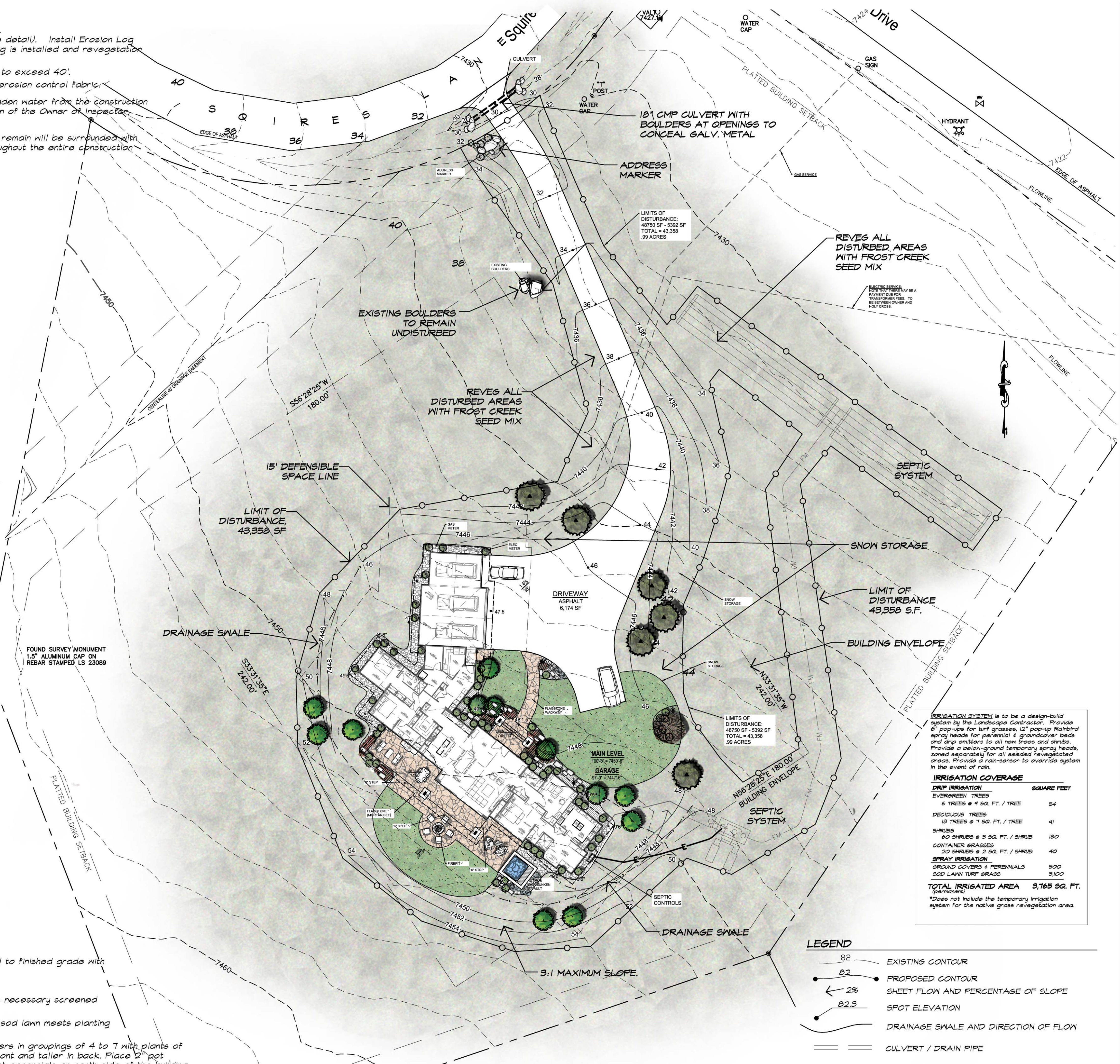
EROSION CONTROL and TREE PROTECTION NOTES

1. **SILT FENCE:** Silt and sediment shall be caught by installing an Erosion Log (see detail). Install Erosion Log prior to excavation and keep in place until final grade is achieved, landscaping is installed and revegetation has become established. See Civil Plans for additional information.
2. **Straw bale siltation berms** shall be placed in drainage swales at intervals not to exceed 40'.
3. All 2:1 slopes shall receive the native grass seed mix covered by Excelsior erosion control fabric.
4. The Contractor shall be responsible for preventing the release of sediment laden water from the construction site and shall be required to install additional control facilities at the direction of the Owner or Inspector should problems occur.
5. **CONSTRUCTION FENCE:** The limit of work and all existing trees designated to remain will be surrounded with poly construction fence installed at the drop line. The fencing will remain throughout the entire construction period.



LANDSCAPE AND IRRIGATION NOTES

1. Contractor shall verify all conditions prior to commencing work and shall be responsible for becoming aware of all underground utilities, pipes, structures, and irrigation lines. The contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. Landscape contractor shall take sole responsibility for any cost incurred due to damage of said utilities
2. **STAKE TREE LOCATIONS:** For review and approval with 3' high wood lath stakes and marked with tree types for the owners review and approval. Contractor to place shrubs, perennials and groundcovers as called out on the plan and the L.A. will provide final review, and / or adjustments.
3. Planting **BACKFILL MIX** for all trees and shall to consist of 80% native topsoil and 20% well rotted compost. Fertilize and saturate root ball with water at time of planting (see details). Apply "Myke Transplanting Tree and Shrub Mix", (Mycorrhiza Fungi) or Fertillome root stimulator 4-10-3.
4. Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the L.A. of the Contractor's responsibilities. The L.A. is not responsible for the performance of Contractors or for their errors or omissions.
5. **MULCH:** Tree and shrub planting beds are to receive 2" of 1" minus gray and brown rock cobble. Perennial, ornamental grass and groundcover areas to receive 2-3" of 'Soil Pep' mulch.
6. **SOIL PREP** of perennial, annual and ground cover areas are to receive 6" of screened, well rotted compost to be integrated into the top-soil with a rototiller. See planting detail.
7. **TREE SUPPORT STAKES:** Deciduous trees to be staked and guyed with three 6' green metal T-posts per tree and guyed with # 12 gauge wire with green nylon tree straps. Aspen in groups can share stakes providing that each tree is receiving support from at least 3 stakes. Conifer trees to be staked with three 3' metal T-posts with above wire and straps.
8. **WARRANTEE:** The Contractor shall warrant that all plant materials supplied under this contract will be healthy and in flourishing condition of active growth at the date of final acceptance. Replace without cost to owner any plant not meeting this condition.
9. **IRRIGATION SYSTEM** is to be a design-build system by the Landscape Contractor. Provide 6" pop-up heads for turf grass, 12" pop-up Rainbird spray heads for perennial & groundcover beds and drip emitters to all new trees and shrubs. Provide below-ground temporary spray heads, zoned separately for all seeded revegetated areas. Provide owner with a as-built plan / plans prior to final review and acceptance. Guarantee system for one year from final acceptance. Keep pipes and spray heads away from the building.
10. **TOPSOIL:** Landscape Contractor to supply and place ½" max. screened topsoil to finished grade with the following depths. Native Grass areas: 1-2" deep. Sod turf-grass lawn areas: 2-3" deep. Perennial and shrub beds: 8-10" deep. Over-excavate and remove any existing soils / construction debris to achieve necessary screened top-soil depths.
11. **METAL EDGING:** 1/8" thick by 4" wide with a rolled-top is to be placed where sod lawn meets planting beds and as designated on the plan.
12. **PERENNIAL & GROUND COVER PLACEMENTS:** Place Perennial and ground covers in groupings of 4 to 7 with plants of different flowering periods and texture compositions. Low growing plants in front and taller in back. Place 2" pot groundcovers in gaps between boulders in retaining areas. Use shade tolerant perennials on north side of the building. Replace unsuitable soil with planting soil in these gaps. Apply Dear replant after installation.



IRRIGATION SYSTEM is to be a design-build system by the Landscape Contractor. Provide 6" pop-ups for turf grasses, 12" pop-up Rainbird spray heads for perennial & groundcover beds and drip emitters to all new trees and shrubs. Provide a below-ground temporary spray heads, zoned separately for all seeded revegetated areas. Provide a rain-sensor to override system in the event of rain.

DRIP IRRIGATION	SQUARE FEET
EVERGREEN TREES	
6 TREES @ 9 SQ. FT. / TREE	54
DECIDUOUS TREES	
3 TREES @ 7 SQ. FT. / TREE	21
SHRUBS	
60 SHRUBS @ 3 SQ. FT. / SHRUB	180
CONTAINER GRASSES	
20 SHRUBS @ 2 SQ. FT. / SHRUB	40
SPRAY IRRIGATION	
GROUND COVERS & PERENNIALS	300
SOD LAWN TURF GRASS	3,100
TOTAL IRRIGATED AREA	3,165 SQ. FT.

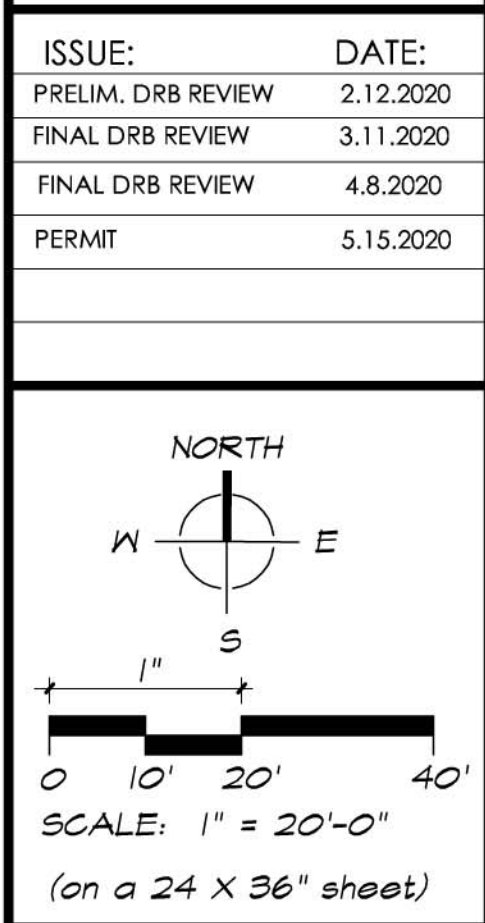
*Does not include the temporary irrigation system for the native grass revegetation area.

LEGEND

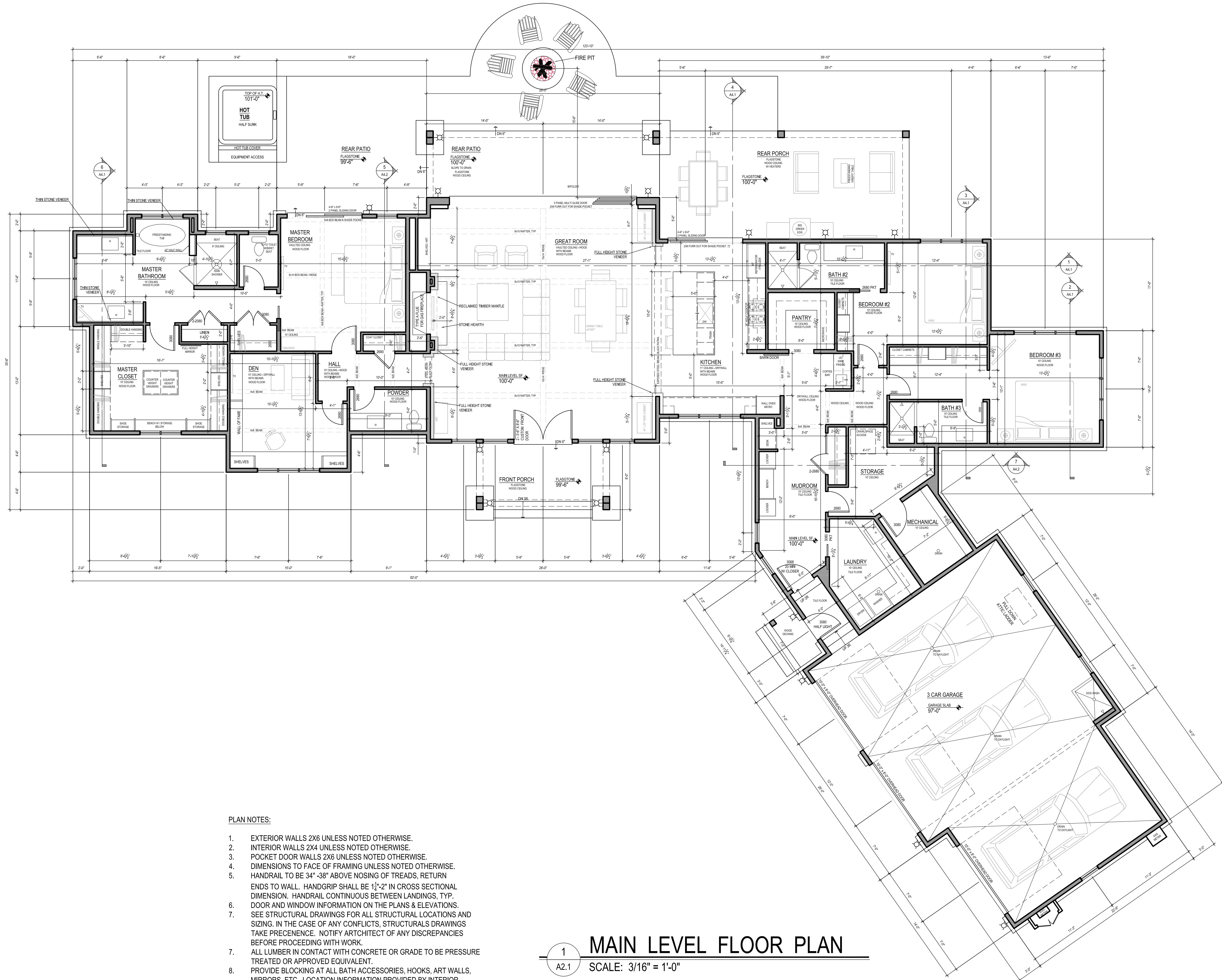
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ROBERTS RESIDENCE
36, SQUIRES LANE, LOT 6
FROST CREEK, EAGLE COUNTY, COLORADO, 81631



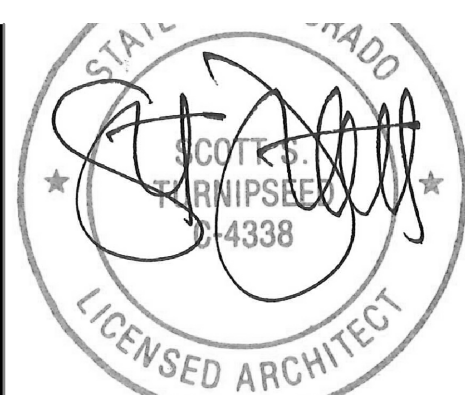
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ARCHITECTURE
& CONSTRUCTION INC.
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1145 CAPITOL STREET, SUITE 211
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970.360.3000 WWW.SSTAIACOM



PLAN NOTES:

1. EXTERIOR WALLS 2X6 UNLESS NOTED OTHERWISE.
2. INTERIOR WALLS 2X4 UNLESS NOTED OTHERWISE.
3. POCKET DOOR WALLS 2X6 UNLESS NOTED OTHERWISE.
4. DIMENSIONS TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
5. HANDRAIL TO BE 34" - 38" ABOVE NOSING OF TREADS, RETURN ENDS TO WALL. HANDGRIP SHALL BE 1 1/2" - 2" IN CROSS SECTIONAL DIMENSION. HANDRAIL CONTINUOUS BETWEEN LANDINGS, TYP.
6. DOOR AND WINDOW INFORMATION ON THE PLANS & ELEVATIONS.
7. SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL LOCATIONS AND SIZING. IN THE CASE OF ANY CONFLICTS, STRUCTURALS DRAWINGS TAKE PRECENCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
7. ALL LUMBER IN CONTACT WITH CONCRETE OR GRADE TO BE PRESSURE TREATED OR APPROVED EQUIVALENT.
8. PROVIDE BLOCKING AT ALL BATH ACCESSORIES, HOOKS, ART WALLS, MIRRORS, ETC. LOCATION INFORMATION PROVIDED BY INTERIOR DESIGNER.

1 MAIN LEVEL FLOOR PLAN
A2.1 SCALE: 3/16" = 1'-0"



TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

ROBERTS RESIDENCE
36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

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A2.1
MAIN LEVEL
FLOOR PLAN



ROBERTS RESIDENCE
36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO

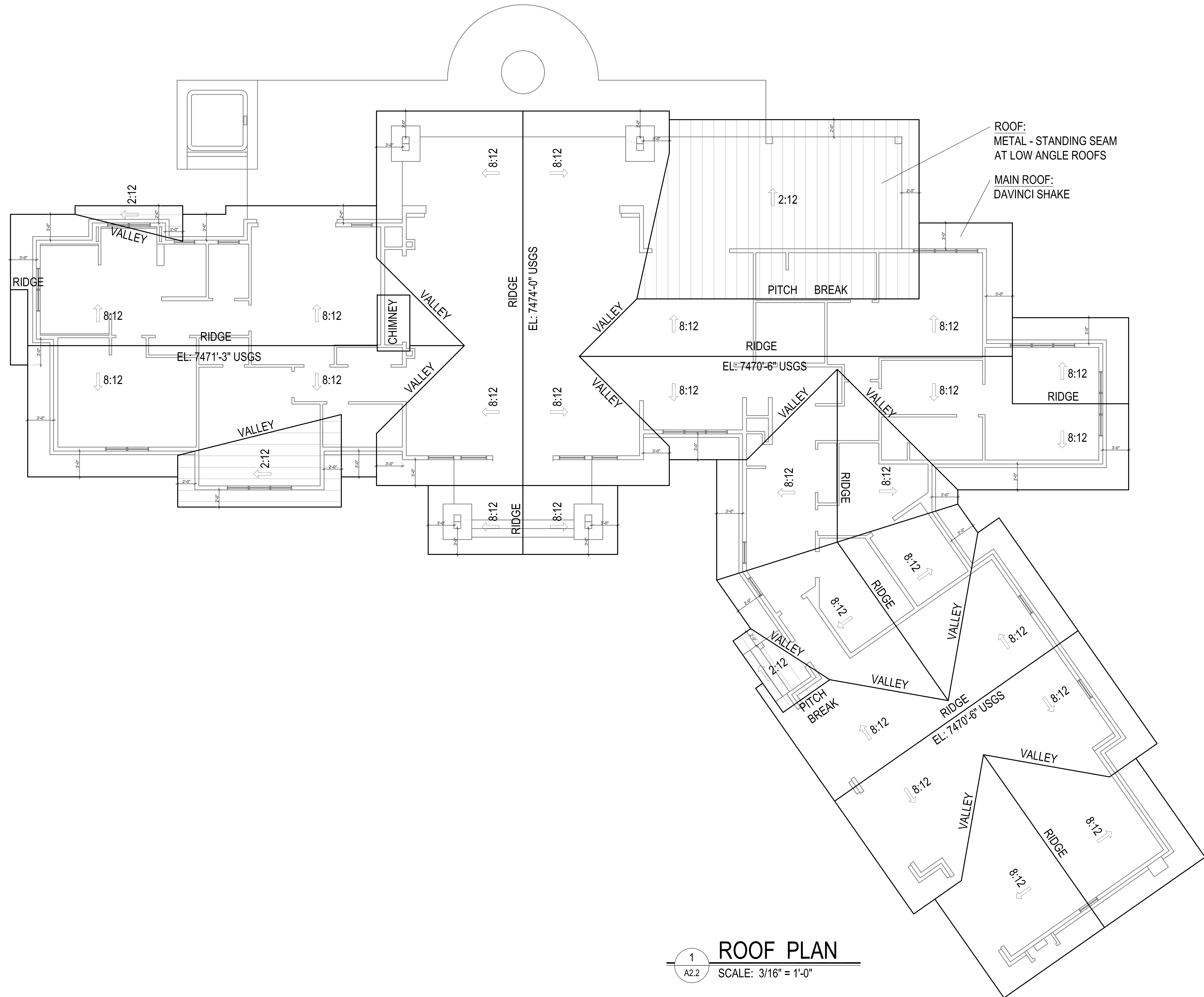
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A2.2

ROOF PLAN

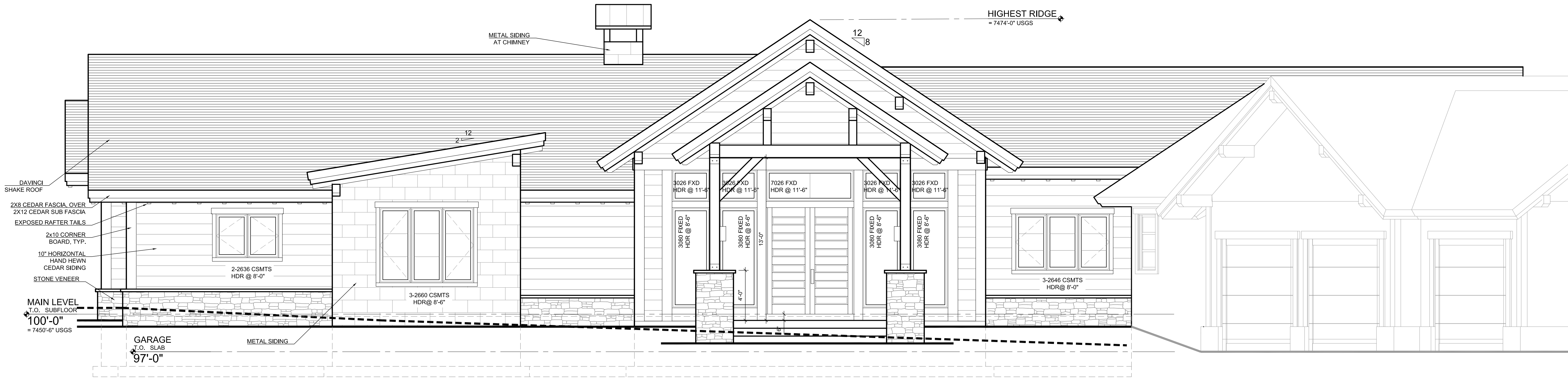
PERMIT SET - MAY 15, 2020



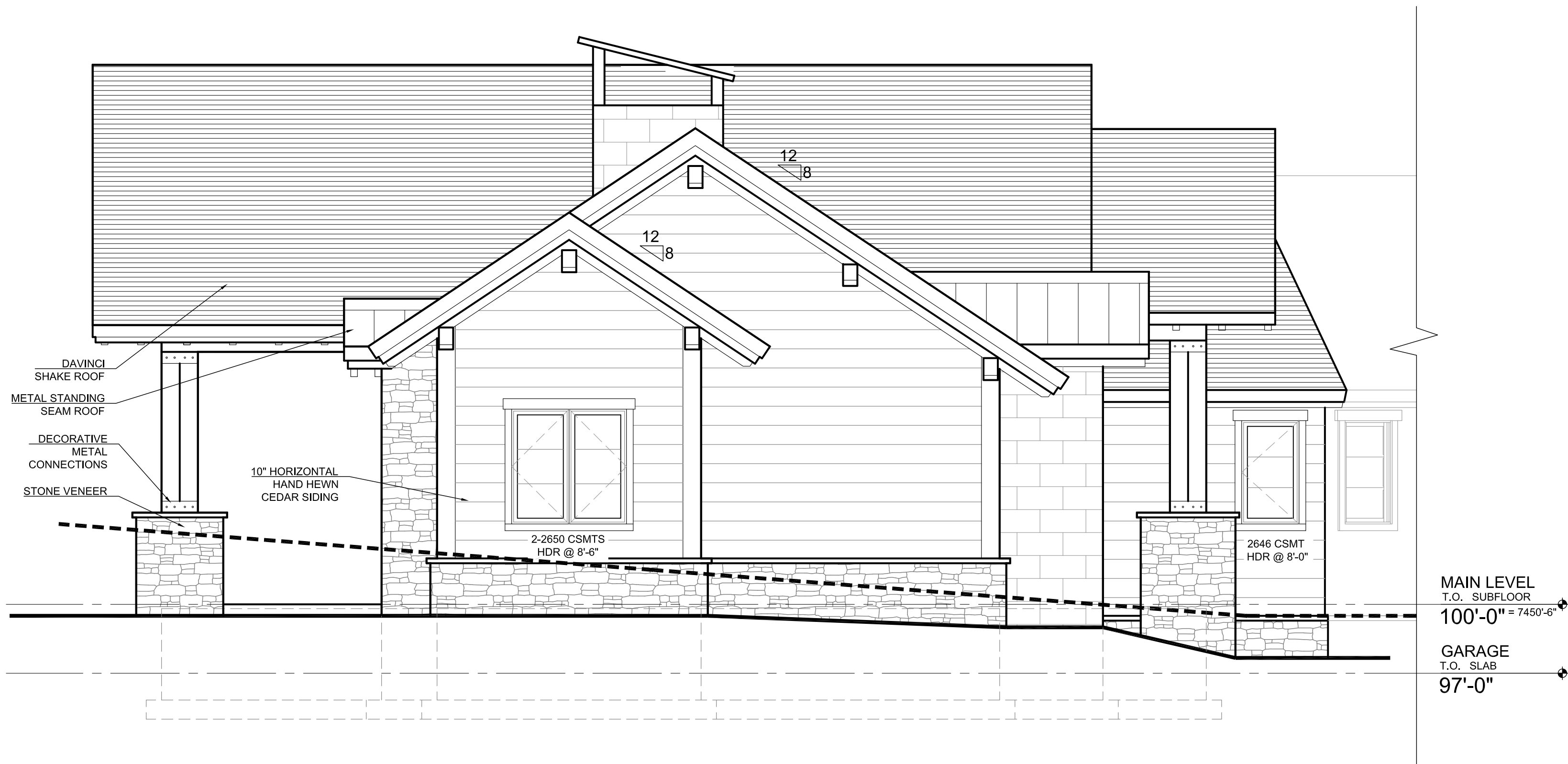
ROOF PLAN

SCALE: 3/16" = 1'-0"

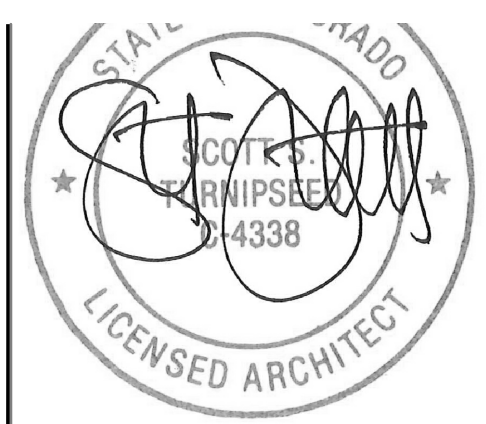
1
A2.2



1 FRONT ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



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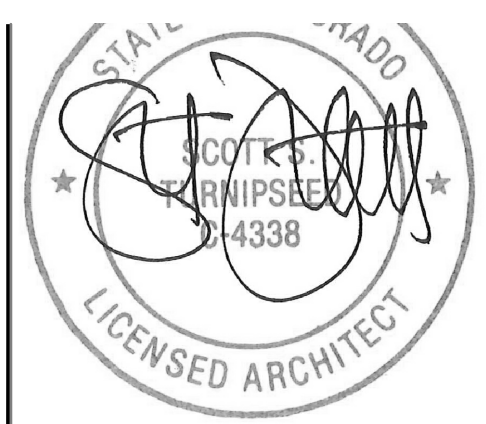
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A3.1
ELEVATIONS

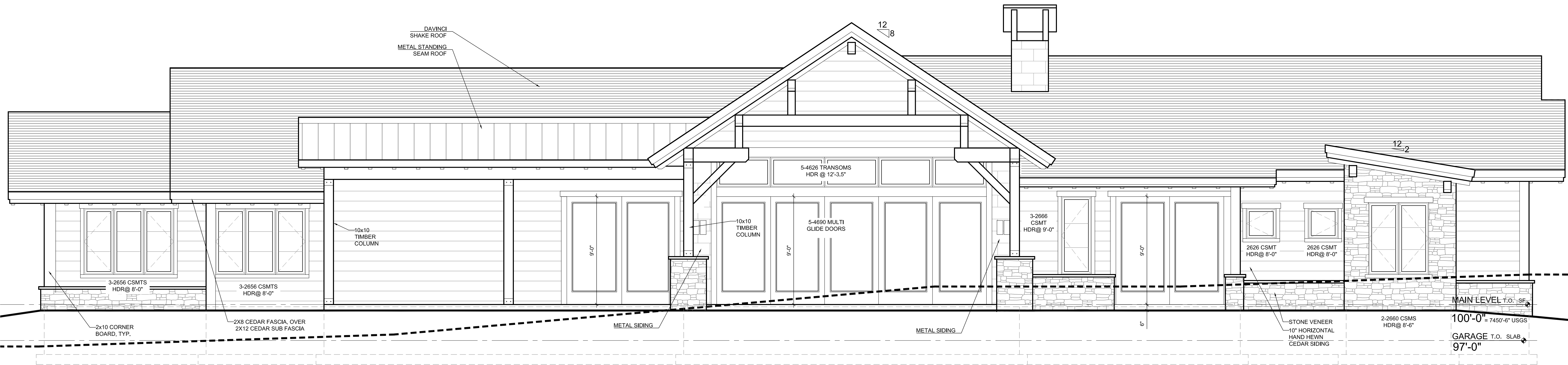


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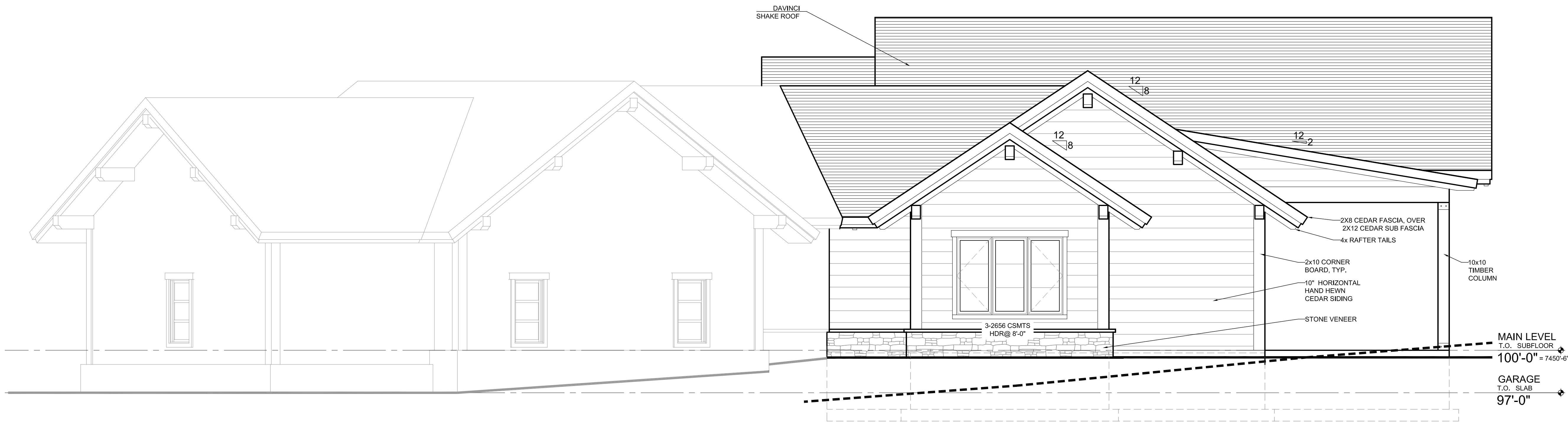
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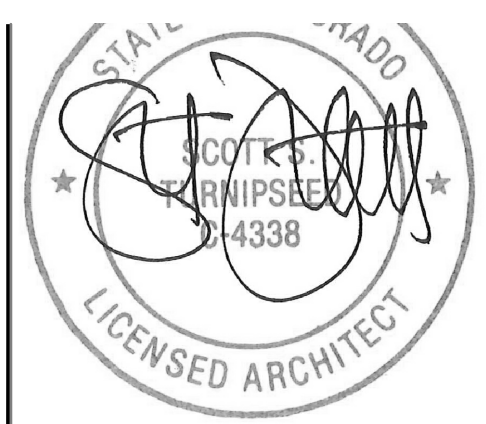
A3.2
ELEVATIONS



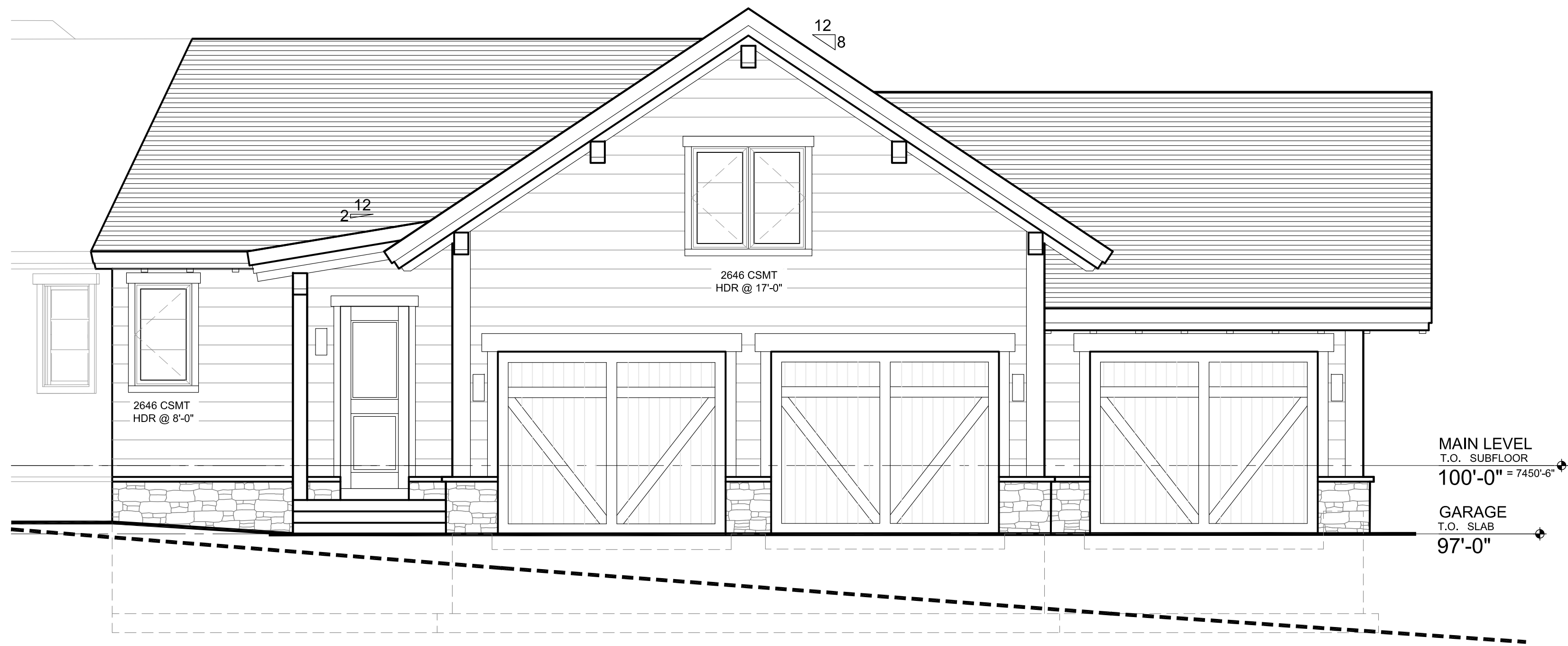
1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



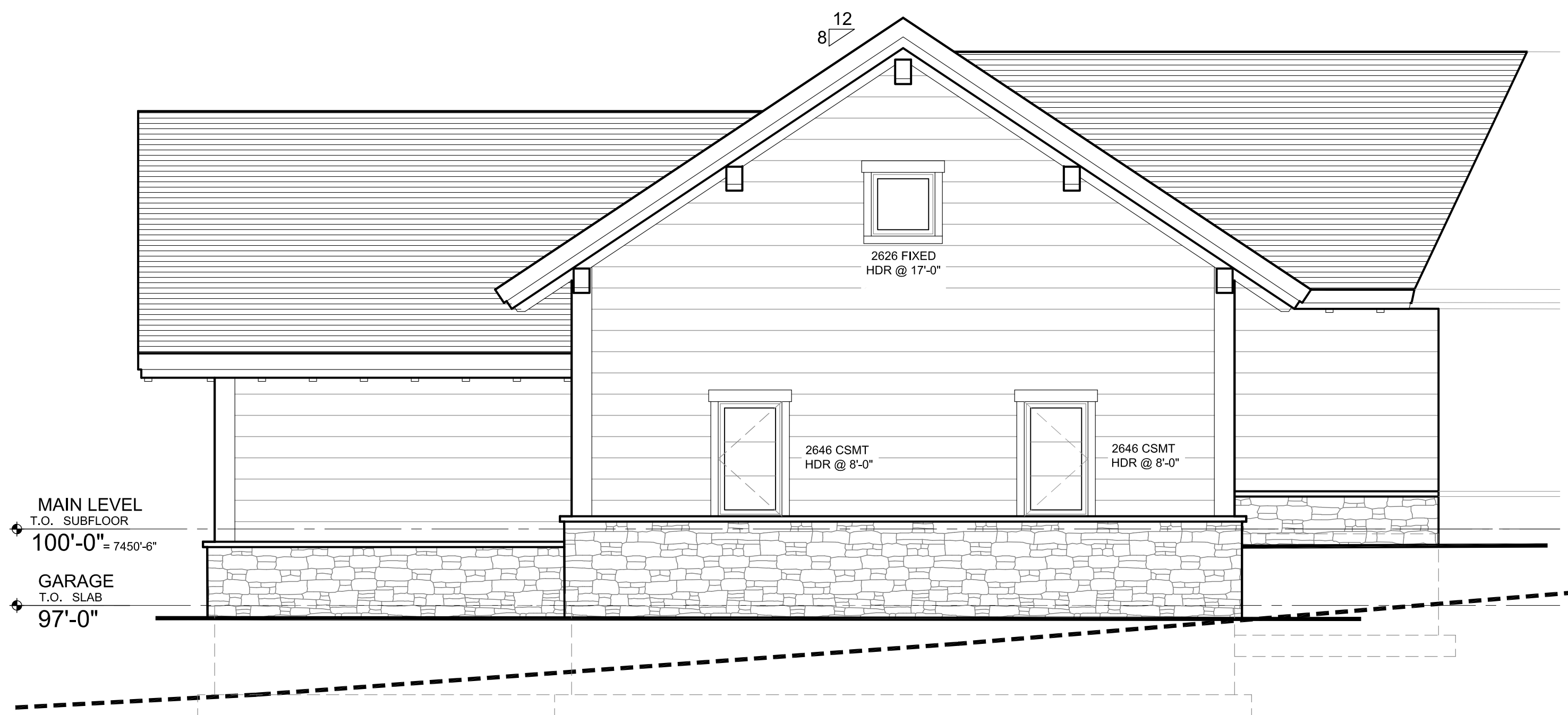
2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



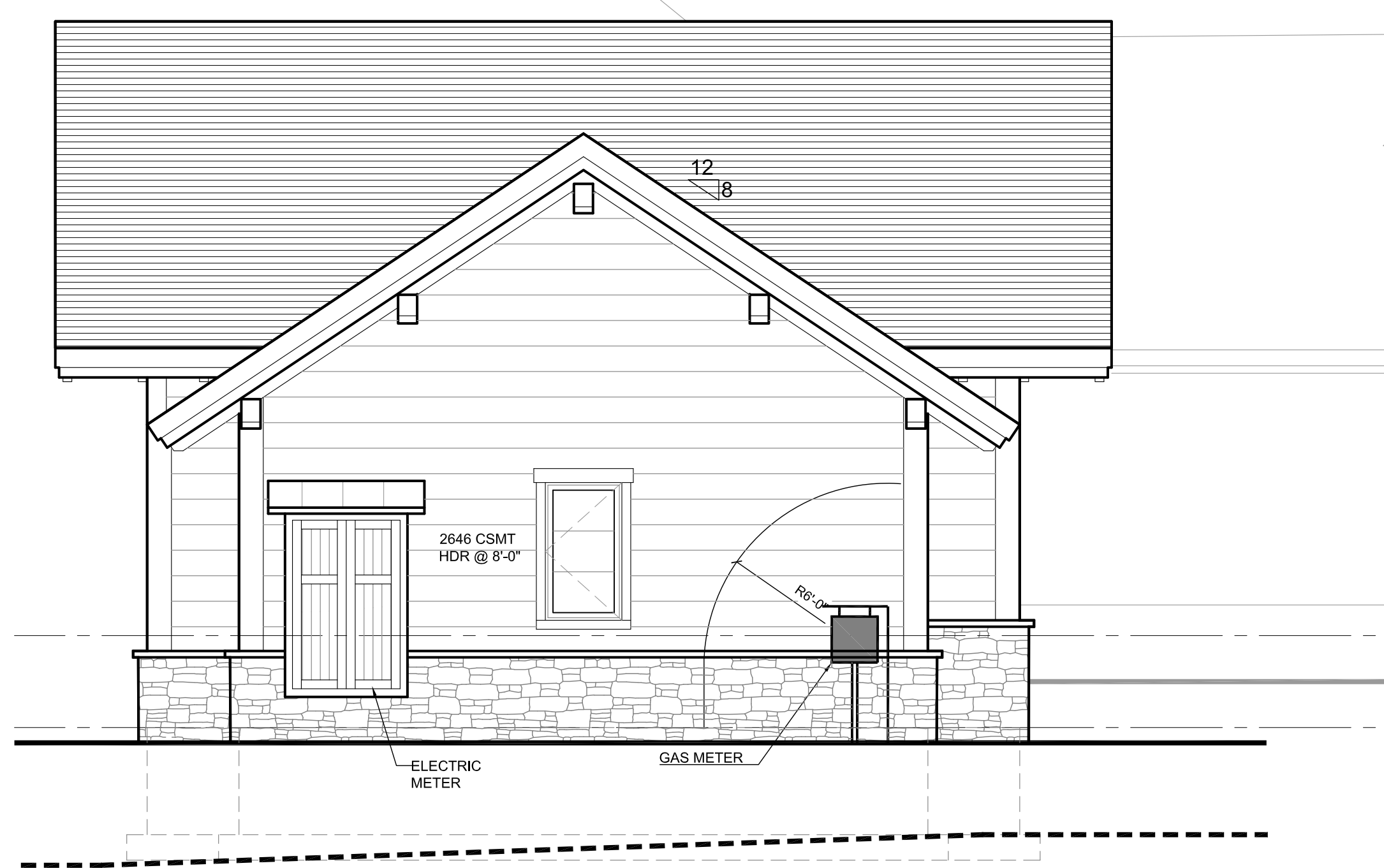
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36 SQUIRES LANE
LOT 6 FROST CREEK
EAGLE COUNTY, COLORADO



1 GARAGE FRONT ELEVATION
A3.3 SCALE: 1/4" = 1'-0"



2 GARAGE REAR ELEVATION
A3.3 SCALE: 1/4" = 1'-0"



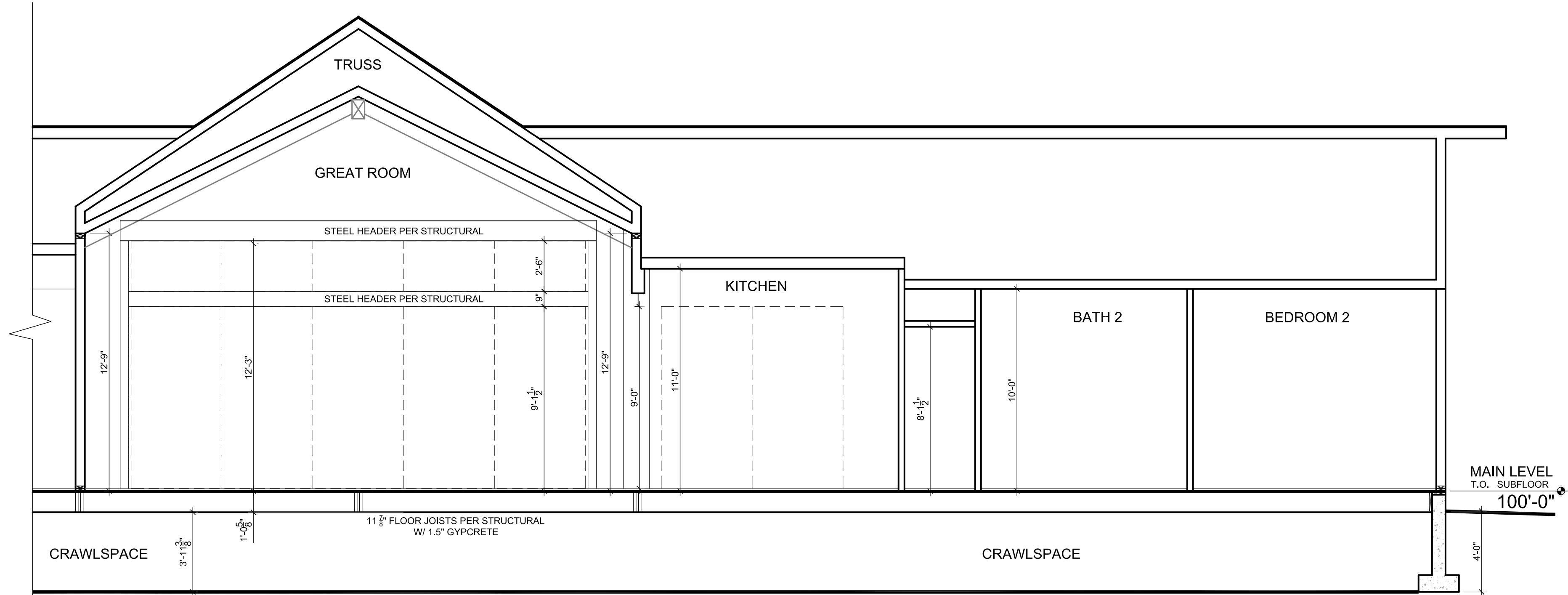
3 GARAGE SIDE ELEVATION
A3.3 SCALE: 1/4" = 1'-0"

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A3.3
ELEVATIONS



Architectural elevation drawing of the rear of a house. The drawing shows a gabled roof with a 12/8 pitch. The main level is 10'-0" high, and the total height to the roof peak is 14'-0". The roof overhangs are 2'-9 1/8" on each side. The main level is labeled "MAIN LEVEL T.O. SUBFLOOR" and the area below is "CRAWLSPACE". The drawing also shows a 100'-0" wide section of the house.

This elevation drawing shows the main level of a house. The roof is a gable with a 12/8 pitch. The overall width is 25'-0", with 2'-9 1/8" overhangs on each side. The main level is 100'-0" wide, including a 4'-0" crawlspace. The interior layout includes Bedroom 2, Bedroom 3, and Bath 3. The main level is finished to the top of the subfloor.

21'-6"

6'-4" 6'-2" 9'-0" 2'-9 1/8"

12 8 12

TRUSS

REAR PORCH

KITCHEN

10'-5 1/8"

11'-0"

4'-3"

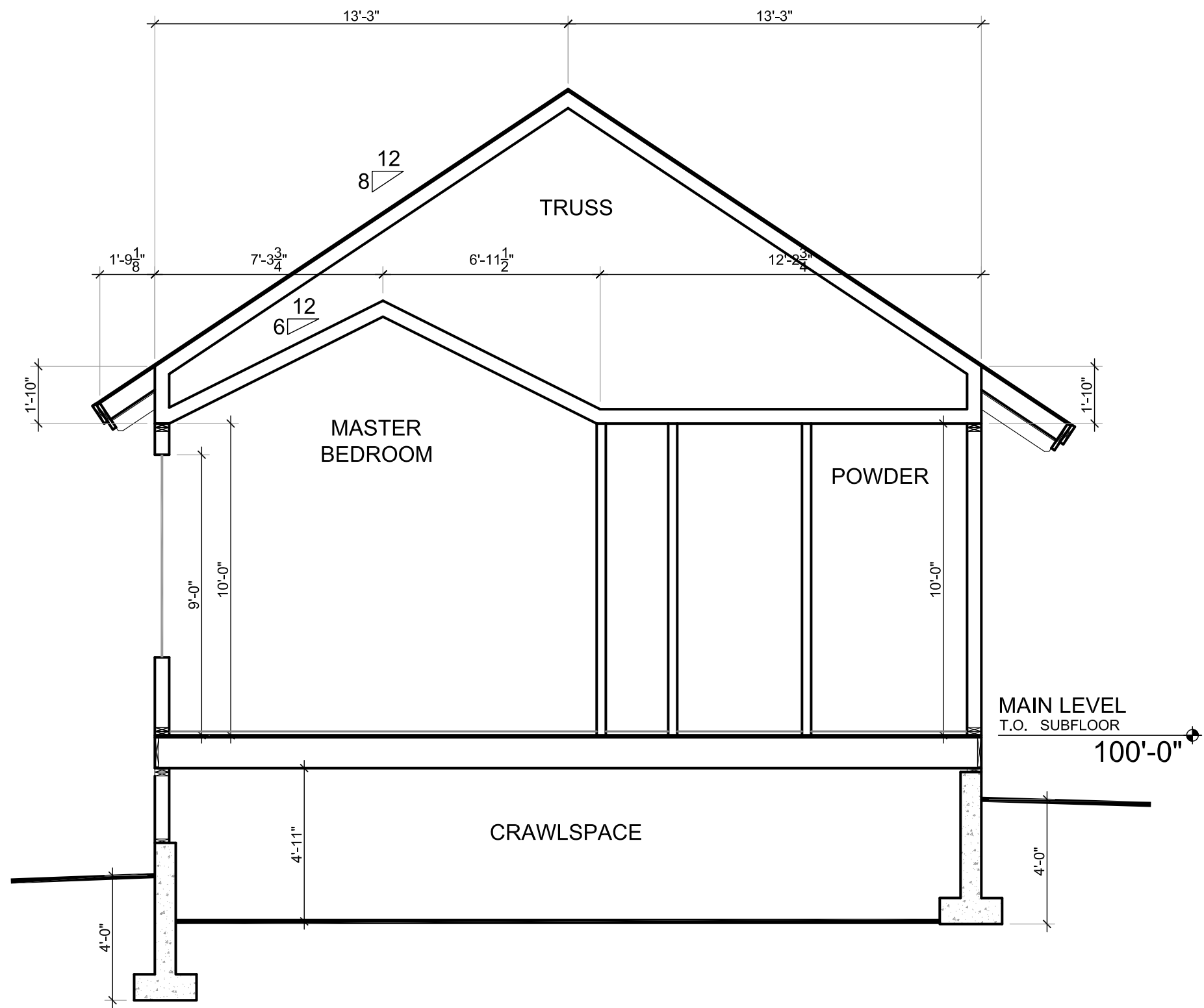
100'-0"

MAIN LEVEL
T.O. SUBFLOOR

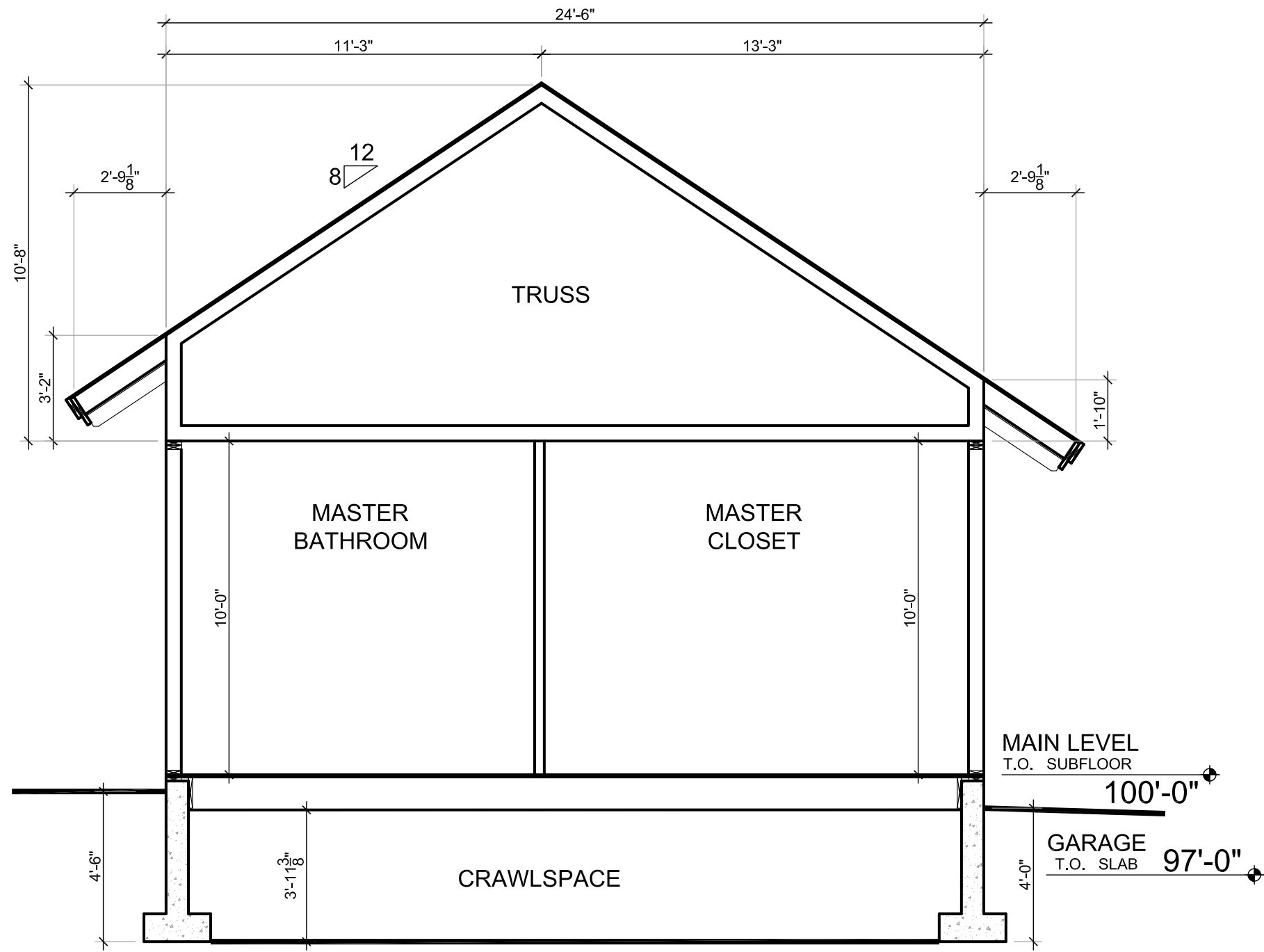
CRAWLSPACE

A4.1

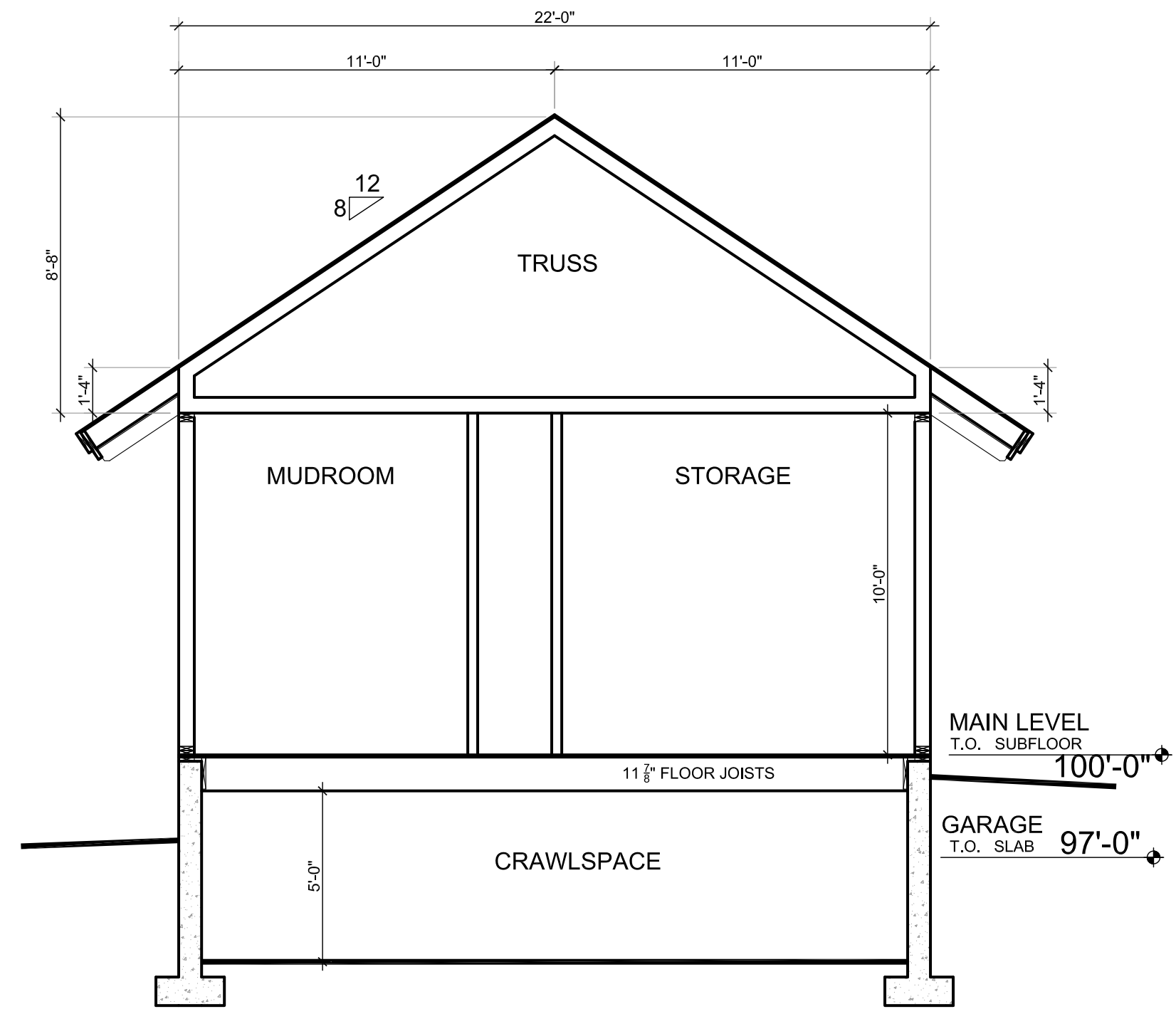
BUILDING SECTIONS



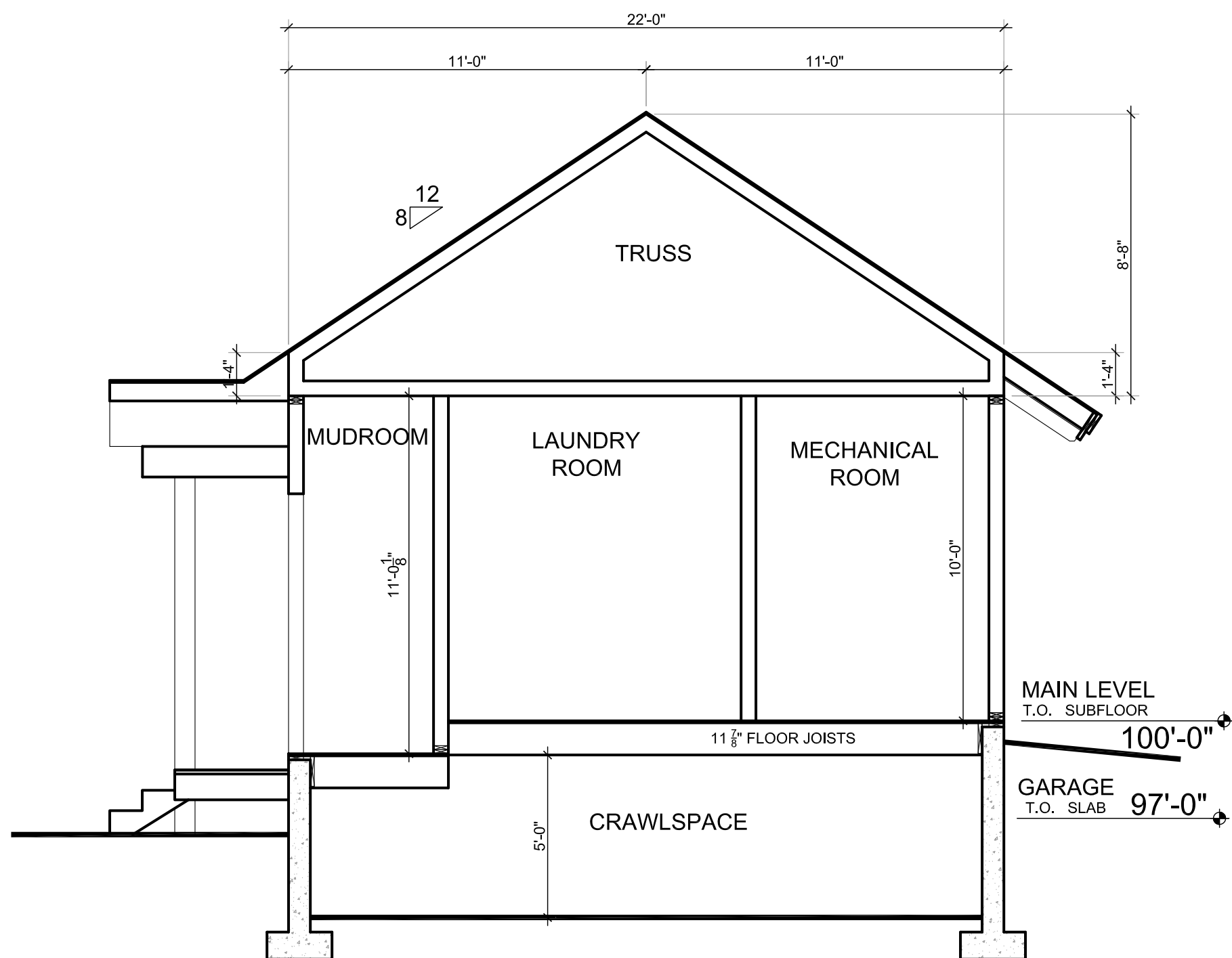
5
A4.2
SECTION 5
SCALE: 1/4" = 1'-0"



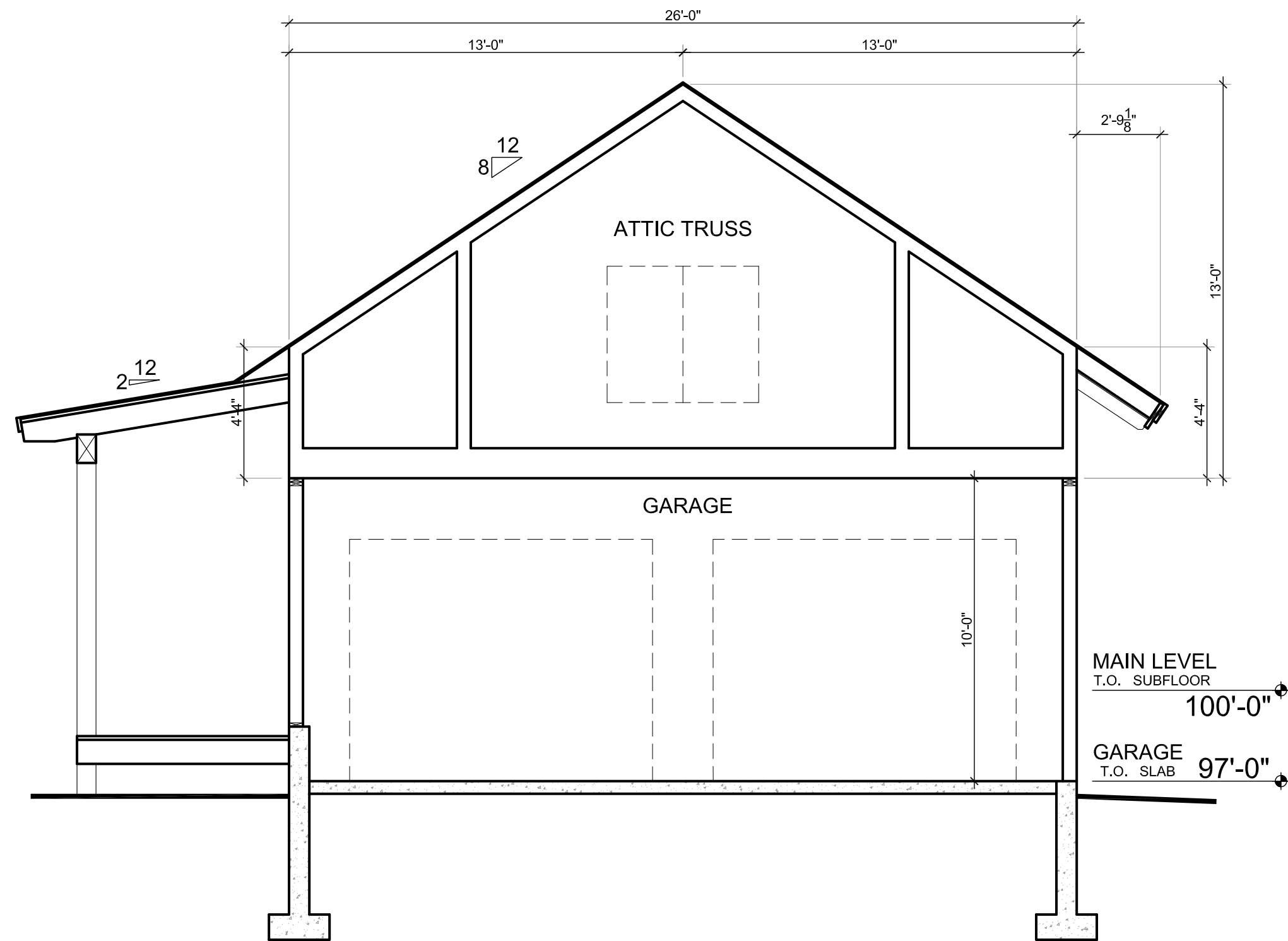
6
A4.2
SECTION 6
SCALE: 1/4" = 1'-0"



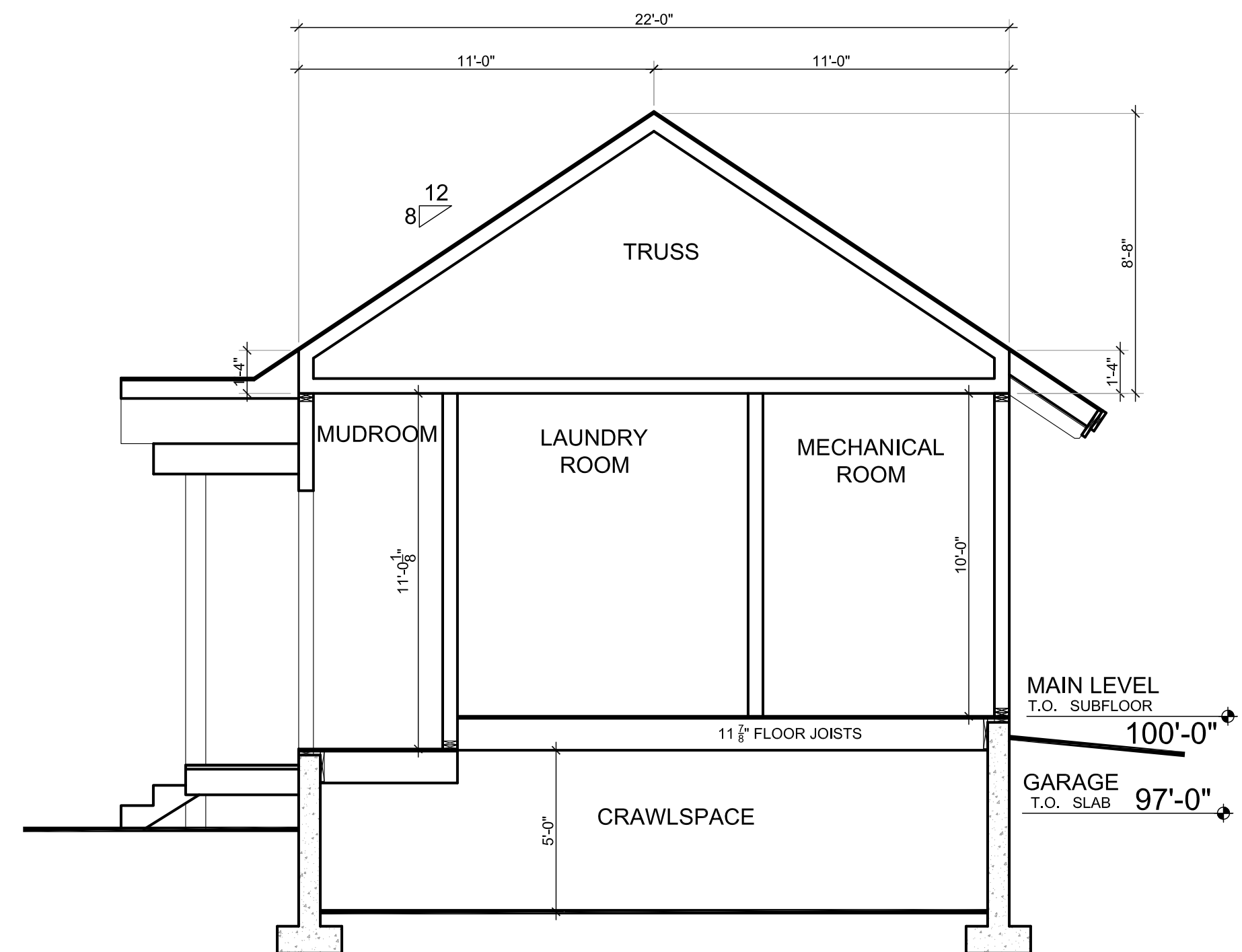
7
A4.2
SECTION 7
SCALE: 1/4" = 1'-0"



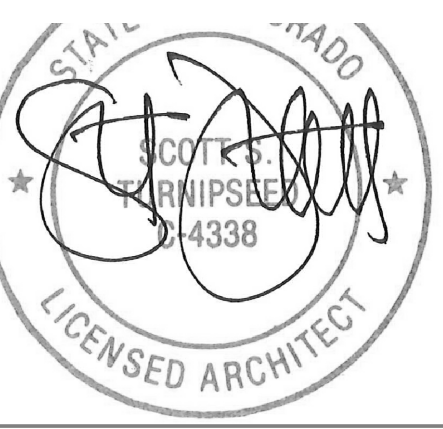
8
A4.2
SECTION 8
SCALE: 1/4" = 1'-0"



9
A4.2
SECTION 9
SCALE: 1/4" = 1'-0"



10
A4.2
SECTION 10
SCALE: 1/4" = 1'-0"



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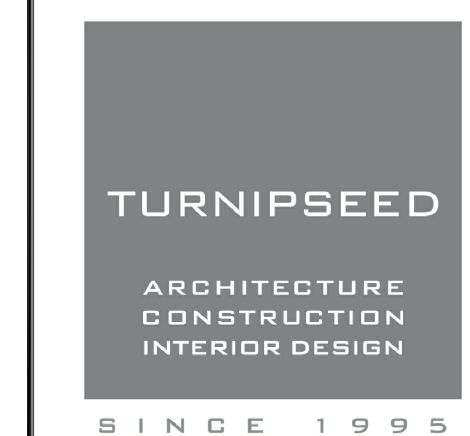
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A4.2
BUILDING
SECTIONS



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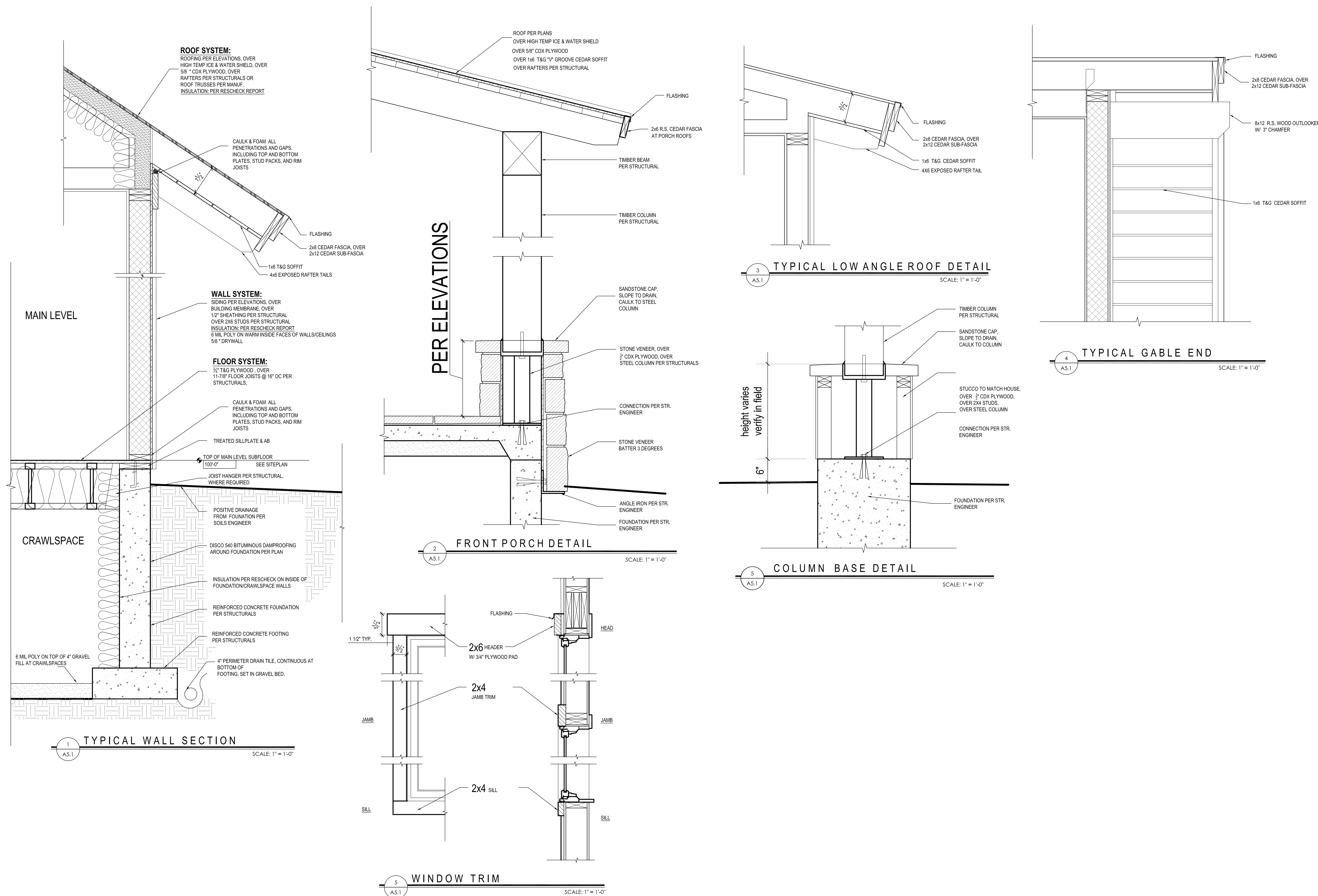
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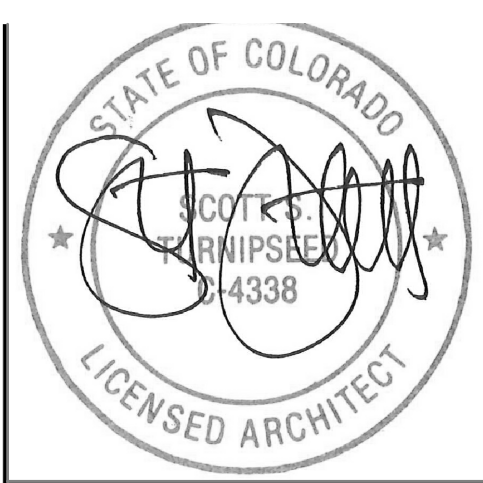
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A5.1

DETAILS

PERMIT SET - MAY 15, 2020





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ROBERTS RESIDENCE

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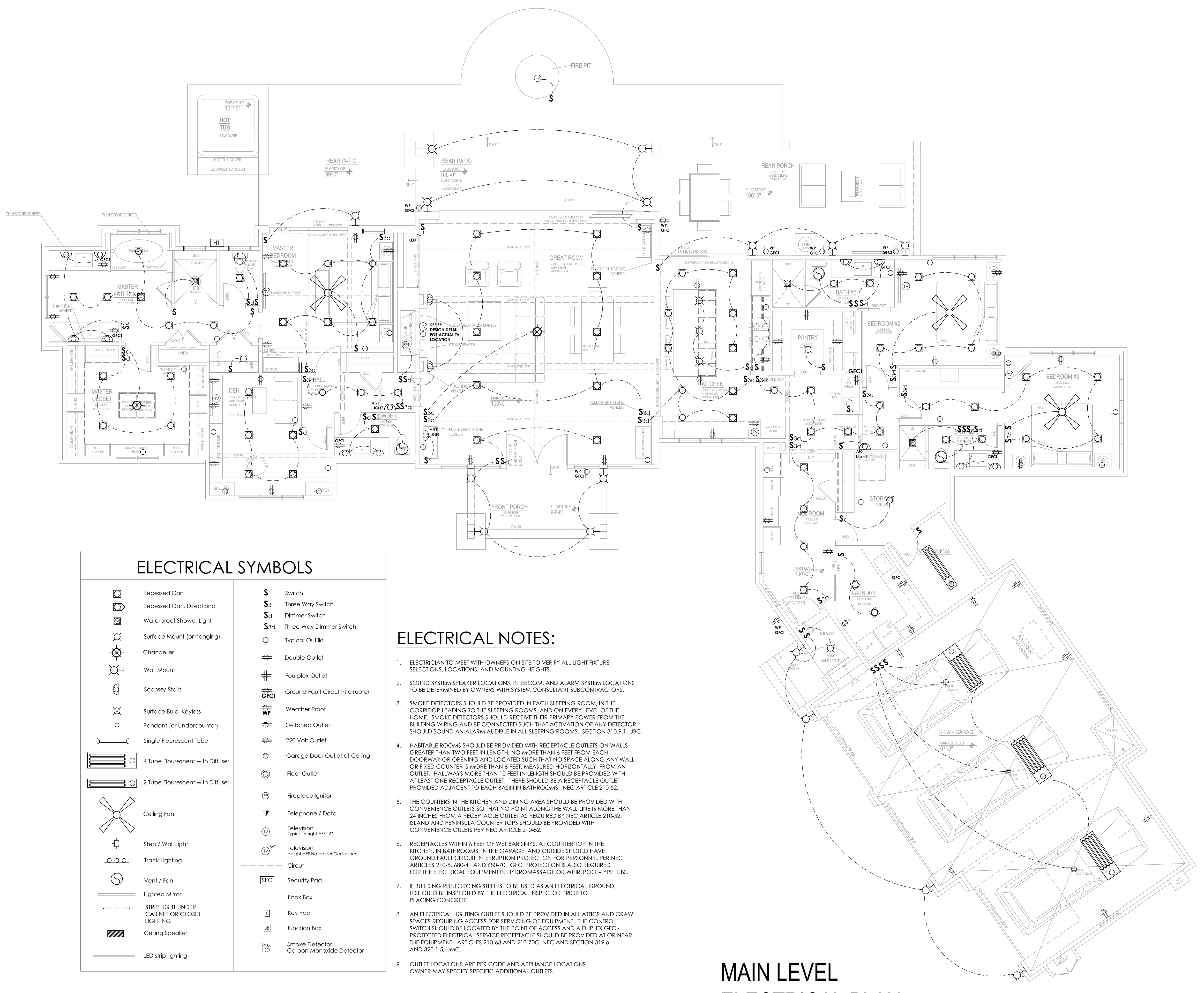
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E1.1

MAIN LEVEL
ELECTRICAL PLAN



ELECTRICAL SYMBOLS	
	Recessed Can
	Recessed Can, Directional
	Waterproof Shower Light
	Surface Mount (or hanging)
	Chandelier
	Wall Mount
	Sconse/ Stairs
	Surface Bulb, Keyless
	Pendant (or Undercounter)
	Single Fluorescent Tube
	4 Tube Fluorescent with Diffuser
	2 Tube Fluorescent with Diffuser
	Ceiling Fan
	Step / Wall Light
	Track Lighting
	Vent / Fan
	Lighted Mirror
	STRIP LIGHT UNDER CABINET OR CLOSET LIGHTING
	Ceiling Speaker
	LED strip lighting
	Switch
	Three Way Switch
	Dimmer Switch
	Three Way Dimmer Switch
	Typical Outlet
	Double Outlet
	Fourplex Outlet
	Ground Fault Circuit Interrupter
	Weather Proof
	Switched Outlet
	220 Volt Outlet
	Garage Door Outlet at Ceiling
	Floor Outlet
	Fireplace Ignitor
	Telephone / Data
	Television Typical Height AFF 1'6"
	Television Height AFF Noted per Occurrence
	Circuit
	Security Pad
	Knox Box
	Key Pad
	Junction Box
	Smoke Detector
	Carbon Monoxide Detector

ELECTRICAL NOTES:

- ELECTRICIAN TO MEET WITH OWNERS ON SITE TO VERIFY ALL LIGHT FIXTURE SELECTIONS, LOCATIONS, AND MOUNTING HEIGHTS.
- SOUND SYSTEM SPEAKER LOCATIONS, INTERCOM, AND ALARM SYSTEM LOCATIONS TO BE DETERMINED BY OWNERS WITH SYSTEM CONSULTANT SUBCONTRACTORS.
- SMOKE DETECTORS SHOULD BE PROVIDED IN EACH SLEEPING ROOM, IN THE CORRIDOR LEADING TO THE SLEEPING ROOMS, AND ON EVERY LEVEL OF THE HOME. SMOKE DETECTORS SHOULD RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE CONNECTED SUCH THAT ACTIVATION OF ANY DETECTOR SHOULD SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS. SECTION 310.9.1, UBC.
- HABITABLE ROOMS SHOULD BE PROVIDED WITH RECEPTACLE OUTLETS ON WALLS GREATER THAN TWO FEET IN LENGTH, NO MORE THAN 6 FEET FROM EACH DOORWAY OR OPENING AND LOCATED SUCH THAT NO SPACE ALONG ANY WALL OR FIXED COUNTER IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET. HALLWAYS MORE THAN 10 FEET IN LENGTH SHOULD BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET. THERE SHOULD BE A RECEPTACLE OUTLET PROVIDED ADJACENT TO EACH BASIN IN BATHROOMS. NEC ARTICLE 210-52.
- THE COUNTERTOPS IN THE KITCHEN AND DINING AREA SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AS REQUIRED BY NEC ARTICLE 210-52. ISLAND AND PENINSULA COUNTER TOPS SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS PER NEC ARTICLE 210-52.
- RECEPTACLES WITHIN 6 FEET OF WET BAR SINKS, AT COUNTER TOP IN THE KITCHEN, IN BATHROOMS, IN THE GARAGE, AND OUTSIDE SHOULD HAVE GROUND FAULT CIRCUIT INTERRUPTION PROTECTION FOR PERSONNEL PER NEC ARTICLES 210-8, 680-41 AND 680-70. GFCI PROTECTION IS ALSO REQUIRED FOR THE ELECTRICAL EQUIPMENT IN HYDROMASSAGE OR WHIRLPOOL-TYPE TUBS.
- IF BUILDING REINFORCING STEEL IS TO BE USED AS AN ELECTRICAL GROUND, IT SHOULD BE INSPECTED BY THE ELECTRICAL INSPECTOR PRIOR TO PLACING CONCRETE.
- AN ELECTRICAL LIGHTING OUTLET SHOULD BE PROVIDED IN ALL ATTICS AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH SHOULD BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI-PROTECTED ELECTRICAL SERVICE RECEPTACLE SHOULD BE PROVIDED AT OR NEAR THE EQUIPMENT. ARTICLES 210-63 AND 210-70C, NEC AND SECTION 319.6 AND 320.1.5, UMC.
- OUTLET LOCATIONS ARE PER CODE AND APPLIANCE LOCATIONS. OWNER MAY SPECIFY SPECIFIC ADDITIONAL OUTLETS.